

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS for TLC DRAIN AND SEWER HEADQUARTERS

PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC
1956-1968 WEST MAIN STREET, NORRISTOWN, PA 19403
WEST NORRITON TOWNSHIP | MONTGOMERY COUNTY, PA
BLOCK 2034, LOT 3

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WAIVER LIST:

THE FOLLOWING WAIVERS ARE REQUESTED TO WEST NORRITON TOWNSHIP

- §22-403.1. - TO ALLOW FOR A SINGLE PRELIMINARY / FINAL SUBMISSION
- §22-503.C.(2) - TO ALLOW A RIGHT-OF-WAY WIDTH LESS THAN 100 FT (50 FT) ON PROJECT SIDE. A 40 FT RIGHT-OF-WAY MEASURED FROM THE CURRENT CENTER LINE IS PROPOSED BASED ON PENNDOT'S REQUEST FOR DEDICATION OF FOURTEEN (14) FT OF THE SUBJECT PROPERTY FRONTAGE.
- §22-505.1. - TO DEFER SIDEWALK RECONSTRUCTION DUE TO PENDING PENNDOT WIDENING PROJECT
- §22-505.2. - TO DEFER CURB RECONSTRUCTION DUE TO PENDING PENNDOT WIDENING PROJECT
- §22-601.3.A. - TO SHOW EXISTING FEATURES LESS THAN 400 FT FROM THE PROPERTY

CERTIFICATIONS

PROFESSIONAL SURVEYOR

REVIEWED BY JACK W. SHOEMAKER, P.L.S. (PENNSYLVANIA LICENSE SU-051643-E), THIS ____ DAY OF _____, 20____. REVIEW VERIFIED THAT THE SURVEY WAS PREPARED UNDER HIS SUPERVISION, THE MONUMENTS SHOWN THEREON EXIST AS LOCATED, AND THAT THE DIMENSIONAL & GEODETIC DETAILS ARE CORRECT TO THE BEST OF HIS KNOWLEDGE.

PROFESSIONAL SEAL:

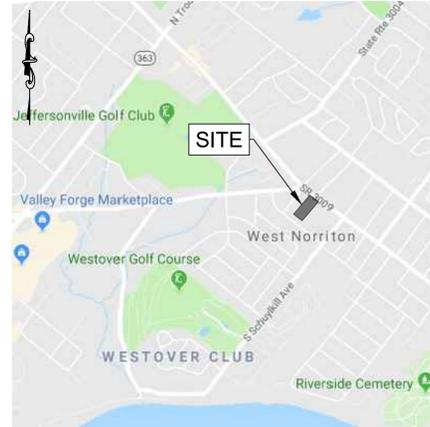
JACK W. SHOEMAKER, P.L.S.

PROFESSIONAL ENGINEER

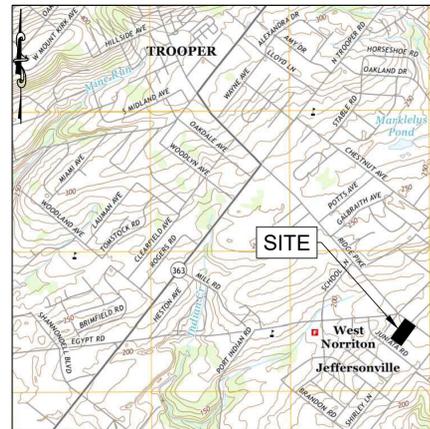
REVIEWED BY PAUL W. HUGHES (PENNSYLVANIA LICENSE NO. PE79231) THIS ____ DAY OF _____, 20____. REVIEW VERIFIED THAT THE LAYOUT OF PROPOSED STREETS, BUILDING LOTS, AND COMMON OPEN SPACE COMPLIES WITH THE TOWNSHIP'S ZONING AND SUBDIVISION AND LAND DEVELOPMENT CHAPTERS, PARTICULARLY THOSE SECTIONS GOVERNING THE DESIGN OF SUBDIVISION STREETS AND STORMWATER MANAGEMENT FACILITIES, AND THAT THE PROPOSED PLAN CAN BE ACCOMPLISHED WITHIN THE TOWNSHIP'S CURRENT REGULATIONS.

PROFESSIONAL SEAL:

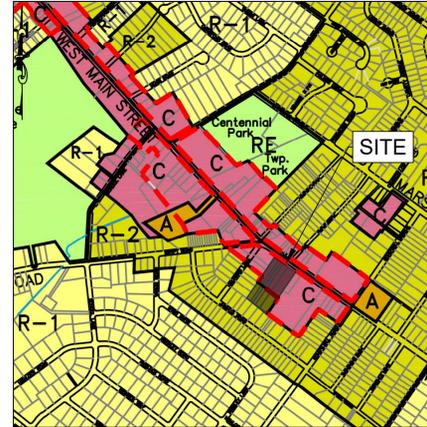
PAUL W. HUGHES



LOCATION MAP
(GOOGLE MAPS)
SCALE: 1" = 2,000'



USGS MAP
(PHILADELPHIA QUADRANT)
SCALE: 1" = 2,000'



ZONING MAP
(WEST NORRITON TOWNSHIP)
SCALE: N.T.S.



SOILS MAP
(IMAGERY FROM WEB SOILS SURVEY)
SCALE: 1" = 300'

PROJECT DESCRIPTION NARRATIVE

A PLUMBING CRAFTSMEN'S SHOP IS BEING PROPOSED ON A ±3.2 ACRE PARCEL WITH AN ADDRESS OF 1956-1968 WEST MAIN STREET IN WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA. A NEW ±15,360 S.F. ONE-STORY PLUMBING CRAFTSMEN'S SHOP IS BEING PROPOSED WITH ASSOCIATED SITE AMENITIES. OTHER IMPROVEMENTS WILL INCLUDE PAVEMENT ADDITIONS, STORMWATER MANAGEMENT FACILITIES, LANDSCAPING, UTILITIES, AND SIDEWALKS. THIS SITE IS LOCATED IN THE 'C' COMMERCIAL ZONING DISTRICT & REVITALIZATION AND TRAFFIC MANAGEMENT OVERLAY DISTRICT.

APPLICANT / OWNER / ENGINEER OF RECORD

- | | | |
|---|---|--|
| 1. OWNER:
PRESTIGE WORLDWIDE
PROPERTY INVESTMENTS, LLC
P.O. BOX 237
BRIDGEPORT, PA 19405 | 2. APPLICANT:
PRESTIGE WORLDWIDE
PROPERTY INVESTMENTS, LLC
P.O. BOX 237
BRIDGEPORT, PA 19405
CONTACT: RICK MELLE
PHONE: 215-395-9772 | 3. ENGINEER OF RECORD:
KIMLEY-HORN AND ASSOCIATES, INC.
50 S. 16TH STREET
TWO LIBERTY PLACE, SUITE 1650
PHILADELPHIA, PA 19102
CONTACT: PAUL HUGHES, P.E.
PHONE: 215-600-0365 |
|---|---|--|

PLAN REFERENCES

- | | |
|---|---|
| 1. ALTA / NSPS SURVEY: PREPARED BY VALLEY LAND SERVICES, LLC
DATE OF PREPARATION: 07/13/2018
LAST REVISED: 07/31/2018 | 2. INFILTRATION TESTING REPORT: PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES
DATE OF PREPARATION: 09/05/2018 |
|---|---|

CORPORATE ACKNOWLEDGEMENT

STATE OF PENNSYLVANIA:
MONTGOMERY COUNTY:

ON THIS, THE ____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE ABOVE COUNTY AND STATE, PERSONALLY APPEARED THE UNDERSIGNED OFFICER, _____ WHO ACKNOWLEDGED HIMSELF (HERSELF) TO BE THE _____ OF _____ AND THAT HE (SHE) AS SUCH OFFICER BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF (HERSELF), AS _____ IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

(SEAL)

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACCEPTANCE OF PLANS

I, _____ HAVE LAID OUT UPON MY LAND, SITUATED IN THE TOWNSHIP OF WEST NORRITON, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS AND STREETS (SITE IMPROVEMENTS) ACCORDING TO THE ACCOMPANYING PLAN WHICH IS INTENDED TO BE RECORDED. WITNESS MY HAND AND SEAL THIS ____ DAY OF _____, 20____.

OWNER SIGNATURE

WITNESS

WEST NORRITON TOWNSHIP ENGINEER

REVIEWED BY THE WEST NORRITON TOWNSHIP ENGINEER, MONTGOMERY COUNTY, STATE OF PENNSYLVANIA, ON THE ____ DAY OF _____, 20____.

TOWNSHIP ENGINEER

APPROVAL FROM CHAIR OF THE BOARD OF COMMISSIONERS

APPROVED BY THE CHAIR OF THE BOARD OF COMMISSIONERS OF WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, ON THE ____ DAY OF _____, 20____.

CHAIR OF THE BOARD OF SUPERVISORS

APPROVAL FROM SECRETARY OF THE BOARD OF COMMISSIONERS

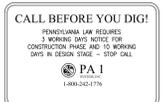
APPROVED BY THE SECRETARY OF THE BOARD OF COMMISSIONERS OF WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, ON THE ____ DAY OF _____, 20____.

SECRETARY OF THE BOARD OF SUPERVISORS

APPROVAL FROM MONTGOMERY COUNTY PLANNING COMMISSION

APPROVED BY THE DIRECTOR OF THE MONTGOMERY COUNTY PLANNING COMMISSION, PENNSYLVANIA, ON THE ____ DAY OF _____, 20____.

DIRECTOR OF THE MONTGOMERY COUNTY PLANNING COMMISSION



Kimley-Horn
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PHILADELPHIA, PA 19102
PHONE: 215-654-6396
WWW.KIMLEY-HORN.COM



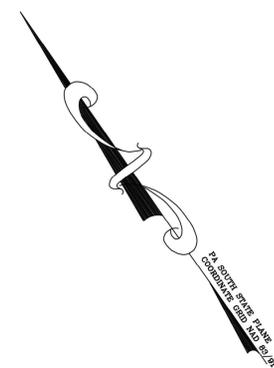
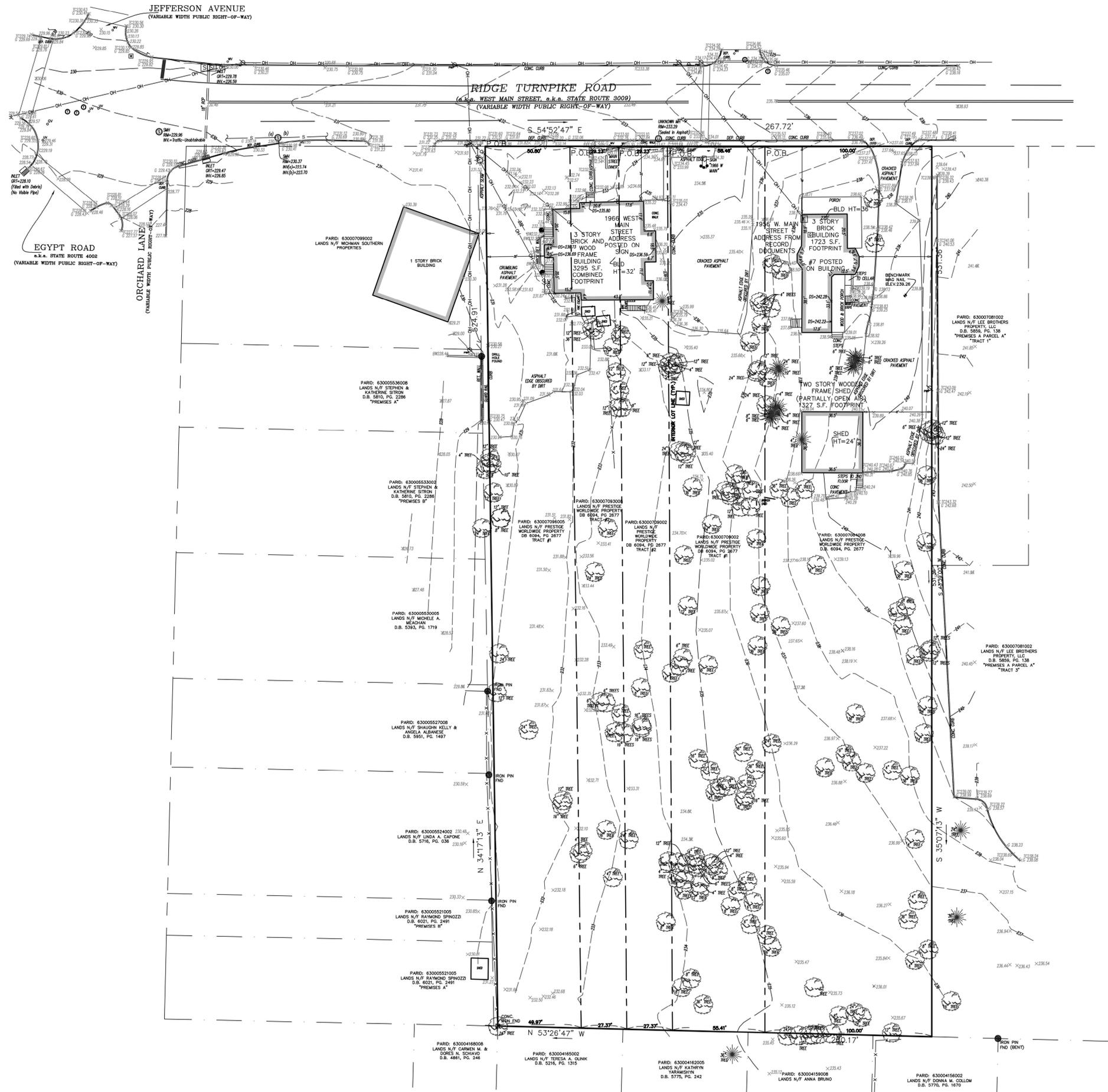
KHA PROJECT 112160000	DATE 09/28/2018	SCALE AS SHOWN	DESIGNED BY PH	DRAWN BY MP	CHECKED BY PH
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COVER SHEET

TLC DRAIN AND SEWER
PREPARED FOR
PRESTIGE WORLDWIDE
PROPERTY INVESTMENTS, LLC
WEST NORRITON TOWNSHIP
PENNSYLVANIA

SHEET NUMBER
C-000

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UTILITY NOTES

ONE CALL TICKET NUMBER 20181722389 CALL DATE JUNE 21, 2018.

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA ARE:

- | | |
|-----------------------------------|--------------|
| AT&T ATLANTA | 877-438-0041 |
| COMCAST CABLE | 800-391-3000 |
| COMCAST CABLE COMMUNICATIONS | 800-934-5489 |
| NEON TRANSCOM | 508-616-7800 |
| PECO ENERGY | 800-841-4141 |
| PENNSYLVANIA AMERICAN WATER | 800-300-6202 |
| TRANSCONTINENTAL GAS/WILLIAMS GAS | 713-215-2000 |
| VERIZON PENNSYLVANIA LLC | 800-492-3100 |
| WEST NORRITON TOWNSHIP | 610-275-2800 |

SYMBOLS

- | | | |
|---------------------------|--------------------------|--------------------------------|
| ● MONUMENT FOUND | ⊙ POWERPOLE | ⊙ SEWER MANHOLE |
| ○ MONUMENT SET | ⊙ GUY WIRE | ○ CLEAN OUT |
| ⊙ P.K. NAIL FOUND | ⊙ LIGHT POLE | ⊙ STORM DRAIN MANHOLE |
| ⊙ P.K. NAIL SET | ⊙ STREET LIGHT POLE | ⊙ STORM INLET |
| ⊙ FND X MARK | ⊙ ELEC. TRANSFORMER | ⊙ CURB INLET |
| ⊙ SET X MARK | ⊙ AIR CONDITIONER | ⊙ PAY PHONE |
| ⊙ R.R. SPIKE FOUND | ⊙ BURIED ELECTRIC | ⊙ TELEPHONE BOX |
| ⊙ R.R. SPIKE SET | ⊙ OVERHEAD ELECTRIC | ⊙ TELEPHONE MANHOLE |
| ⊙ BENCHMARK | ⊙ ELEC. MANHOLE | ⊙ TELEPHONE POLE |
| (R) RECORD DATA | ⊙ ELECTRIC METER | ⊙ TELEPHONE LINE |
| (M) MEASURED DATA | ⊙ WATER LINE | ⊙ UNDERGROUND TELEPHONE MARKER |
| (S) SURVEYED DATA | ⊙ WATER MANHOLE | ⊙ CABLE TELEVISION |
| R/W RIGHT OF WAY | ⊙ WATER VALVE | ⊙ CABLE BOX |
| BSL BACK SET LINE | ⊙ WATER METER | ⊙ UNDERGROUND CABLE MARKER |
| RCP REINFORCED CONC PIPE | ⊙ BACK FLOW PREVENTOR | ⊙ CABLE TELEVISION |
| CMP CORRUGATED METAL PIPE | ⊙ GAS VALVE | ⊙ TRAFFIC POLES |
| PVC PLASTIC PIPE | ⊙ GAS METER | ⊙ TRAFFIC SIGNAL |
| MFL METAL | ⊙ UNDERGROUND GAS MARKER | ⊙ TRAFFIC MANHOLE |
| AGL ABOVE GROUND LEVEL | ⊙ GAS MANHOLE | ⊙ TRAFFIC SIGNAL BOX |
| L/S LANDSCAPING | ⊙ GAS LINE | ⊙ STOP SIGN |
| ⊙ TREE | ⊙ BOLLARD | ⊙ SIGN |
| ⊙ MCO METAL TANK COVER | ⊙ BORE HOLE | |
| | ⊙ MONITORING WELL | |
| | ⊙ MAIL BOX | |
| | ⊙ UNKNOWN MANHOLE | |
| | ⊙ SQUARE METAL LID | |
| | ⊙ FUEL TANK LID | |
| | ⊙ FLAG POLE | |

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 TWO LIBERTY PLACE, 50 SOUTH 16TH STREET, SUITE 1650
 PHILADELPHIA, PA 19102
 PHONE: 215-854-6396
 WWW.KIMLEY-HORN.COM



KHA PROJECT
112160000

DATE
09/28/2018

SCALE AS SHOWN

DESIGNED BY PH

DRAWN BY MP

CHECKED BY PH

**EXISTING
CONDITIONS PLAN**

TLC DRAIN AND SEWER
 PREPARED FOR
**PRESTIGE WORLDWIDE
 PROPERTY INVESTMENTS, LLC**

PENNSYLVANIA
 WEST NORRITON TOWNSHIP

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL

PA 1
 LABOR 241776

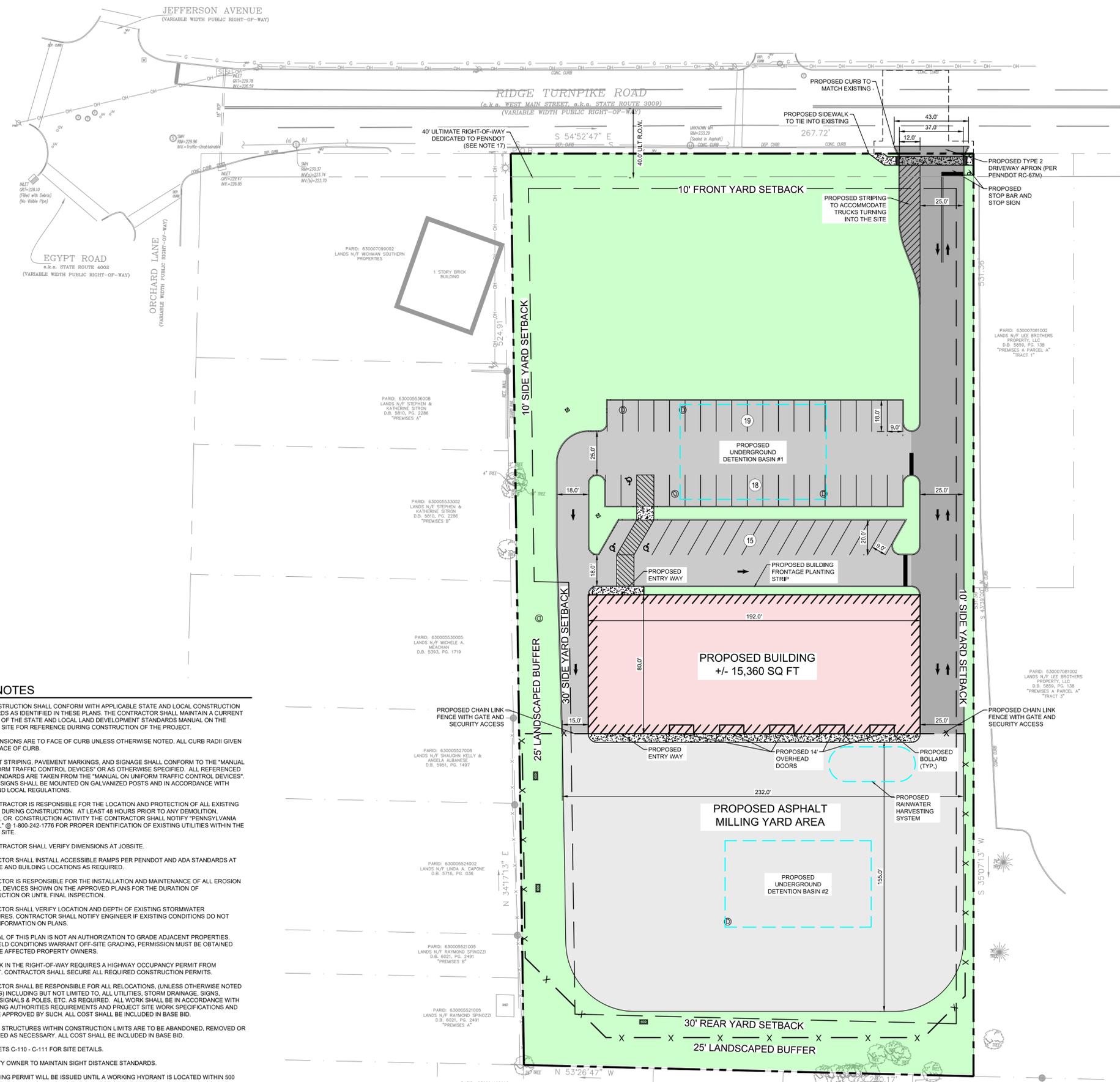
PREPARED BY VALLEY LAND SERVICES, LLC

FOR REFERENCE ONLY

SHEET NUMBER
C-010

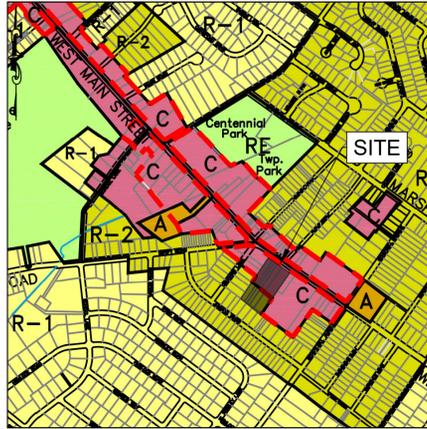
NO.	REVISIONS	DATE	BY

Plotted By: Patterson, Mott - Sheet Set: TLC Headquarters Layout: SITE PLAN - September 28, 2018 - 10:46:35am - K:\PHI_PRA\112160000 - the headquarters CAD\plan\sheet\100 SITE PLAN.dwg
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SITE NOTES

- ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL CURB RADII GIVEN TO THE FACE OF CURB.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "PENNSYLVANIA ONE CALL" @ 1-800-242-1776 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER PENNDOT AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING STORMWATER STRUCTURES. CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING CONDITIONS DO NOT MATCH INFORMATION ON PLANS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ALL WORK IN THE RIGHT-OF-WAY REQUIRES A HIGHWAY OCCUPANCY PERMIT FROM PENNDOT. CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- SEE SHEETS C-110 - C-111 FOR SITE DETAILS.
- PROPERTY OWNER TO MAINTAIN SIGHT DISTANCE STANDARDS.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL A WORKING HYDRANT IS LOCATED WITHIN 500 FEET OF THE BUILDING, WHICH IS THE SUBJECT OF THE PERMIT, AND UNTIL A PASSABLE ROADWAY IS PROVIDED CAPABLE OF SUPPORTING 40 TON FIRE EQUIPMENT.
- WATER ORIGINATING FROM OTHER THAN NATURAL SOURCES, SUCH AS AIR-CONDITIONING UNITS, SUMP PUMPS OR OTHER DRY WEATHER FLOW, WHEREVER PRACTICABLE, SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM OF THE TOWNSHIP OR DISCHARGED INTO WATERCOURSES ON THE PROPERTY, AT THE DIRECTION OF THE TOWNSHIP ENGINEER.
- 14 FEET OF PROPERTY FRONTAGE OFFERED FOR DEDICATION TO PENNDOT. (40 FEET TOTAL RIGHT-OF-WAY FROM EXISTING CENTER OF WEST MAIN STREET)



ZONING MAP
(WEST NORRITON TOWNSHIP)
SCALE: N.T.S.

SITE PLAN STATISTICS

SITE ADDRESS:	1956-1968 WEST MAIN STREET, NORRISTOWN, PA 19403
MUNICIPALITIES:	WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA
EXISTING USES:	RESTAURANT, OFFICE, APARTMENTS
PROPOSED USE:	CRAFTSMEN'S SHOP - WATER AND SEWER
CONSOLIDATED LOT AREA:	139,355 SQ FT (3.2 ACRES)

LEGEND

	PROPOSED PROPERTY LINE		PROPOSED STANDARD DUTY CONCRETE
	PROPOSED CURB		PROPOSED HEAVY DUTY ASPHALT PAVING
	PROPOSED PARKING COUNT		PROPOSED STANDARD DUTY ASPHALT PAVING
	PROPOSED BUILDING		PROPOSED ASPHALT MILLING YARD
	PROPOSED GREEN SPACE		
	PROPOSED CROSSWALK		

WEST NORRITON TOWNSHIP DIMENSIONAL STANDARDS

REQUIREMENTS	C DISTRICT	REVITALIZATION AND TRAFFIC MANAGEMENT OVERLAY DISTRICT	PROPOSED
BUILDING SETBACKS			
MINIMUM FRONT YARD	20 FT	10 FT (30FT RESIDENTIAL)	254 FT (C)
MINIMUM SIDE YARD	-	10 FT (30FT RESIDENTIAL)	31 FT (C)
MINIMUM REAR YARD	20 FT	10 FT (30FT RESIDENTIAL)	192 FT (C)
INTENSITY RATIOS			
MAXIMUM BUILDING AREA COVERAGE	70%	-	11.0% (C)
MISCELLANEOUS			
MINIMUM LOT AREA	17,000 SQ FT	-	139,355 SQ FT (C)
MINIMUM LOT WIDTH (BUILDING LINE)	85 FT	-	264 FT (C)
MAXIMUM BUILDING HEIGHT	35 FT	35 FT	< 35 FT (C)
MINIMUM GREEN AREA	-	15%	40.6% (C)
MINIMUM PARKING SETBACK	-	10 FT (FR. ULT. ROW)	142 FT (C)
MAXIMUM CURB CUT	-	30 FT	43 FT (CU)

LEGEND:
(C) = COMPLIES
(CU) = CONDITIONAL USE

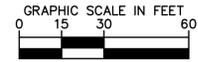
PARKING REQUIREMENTS

PARKING AREA DIMENSIONAL REQUIREMENTS:
 MINIMUM PARKING SPACE DIMENSIONS (STANDARD): 9 FT X 18 FT (PROPOSED: 9 FT X 18 FT)
 MINIMUM PARKING SPACE DIMENSIONS (ANGLED): 9 FT X 19 FT (PROPOSED: 9 FT X 20 FT)
 MINIMUM PARKING AREA ONE-WAY DRIVE AISLE WIDTH: 25 FT (PROPOSED: MINIMUM 25 FT)
 MINIMUM PARKING AREA TWO-WAY DRIVE AISLE WIDTH: 25 FT (PROPOSED: MINIMUM 25 FT)
OFF-STREET PARKING REQUIREMENTS:
 OTHER COMMERCIAL BUILDINGS - ONE (1) SPACE FOR EVERY 1,000 SF = 16 SPACES + 35 EMPLOYEES = 51 SPACES

PROPOSED PARKING

STANDARD (9 FT X 18 FT): 36 SPACES + 1 ADA SPACE
 ANGLED (9 FT X 20 FT): 13 SPACES + 2 ADA SPACES
 TOTAL = 52 SPACES

PROPOSED IMPERVIOUS COVERAGE	
TOTAL LOT AREA	139,355 SQ FT (3.2 ACRES)
IMPERVIOUS - SURFACES	68,391 SQ FT
IMPERVIOUS - BUILDING AREA	15,360 SQ FT
TOTAL IMPERVIOUS AREA	83,751 SQ FT



CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 PA 1
 1-800-242-1776

No. _____
REVISIONS _____
DATE _____

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 TWO LIBERTY PLACE, 50 SOUTH 16TH STREET, SUITE 1650
 PHILADELPHIA, PA 19102
 PHONE: 215-854-6396
 WWW.KIMLEY-HORN.COM

KHA PROJECT 112160000
 DATE 09/28/2018
 SCALE AS SHOWN
 DESIGNED BY PH
 DRAWN BY MP
 CHECKED BY PH

SITE PLAN

WEST NORRITON TOWNSHIP
 PENNSYLVANIA

TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC

SHEET NUMBER **C-100**

Plotted By: Patterson, Matt. Sheet: SLLC Headquarter - Loyola LOT CONSOLIDATION PLAN - September 28, 2018. 10:46:51am. K:\PHI_P\PRJ112160000 - tie headquarter\CAD\plan\sheet\C-150 LOT CONSOLIDATION PLAN.dwg
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RIDGE TURNPIKE ROAD
 (a.k.a. WEST MAIN STREET, a.k.a. STATE ROUTE 3009)
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

RIDGE TURNPIKE ROAD
 (a.k.a. WEST MAIN STREET, a.k.a. STATE ROUTE 3009)
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



LOT 1
139,355 SF
(3.199 ACRES)

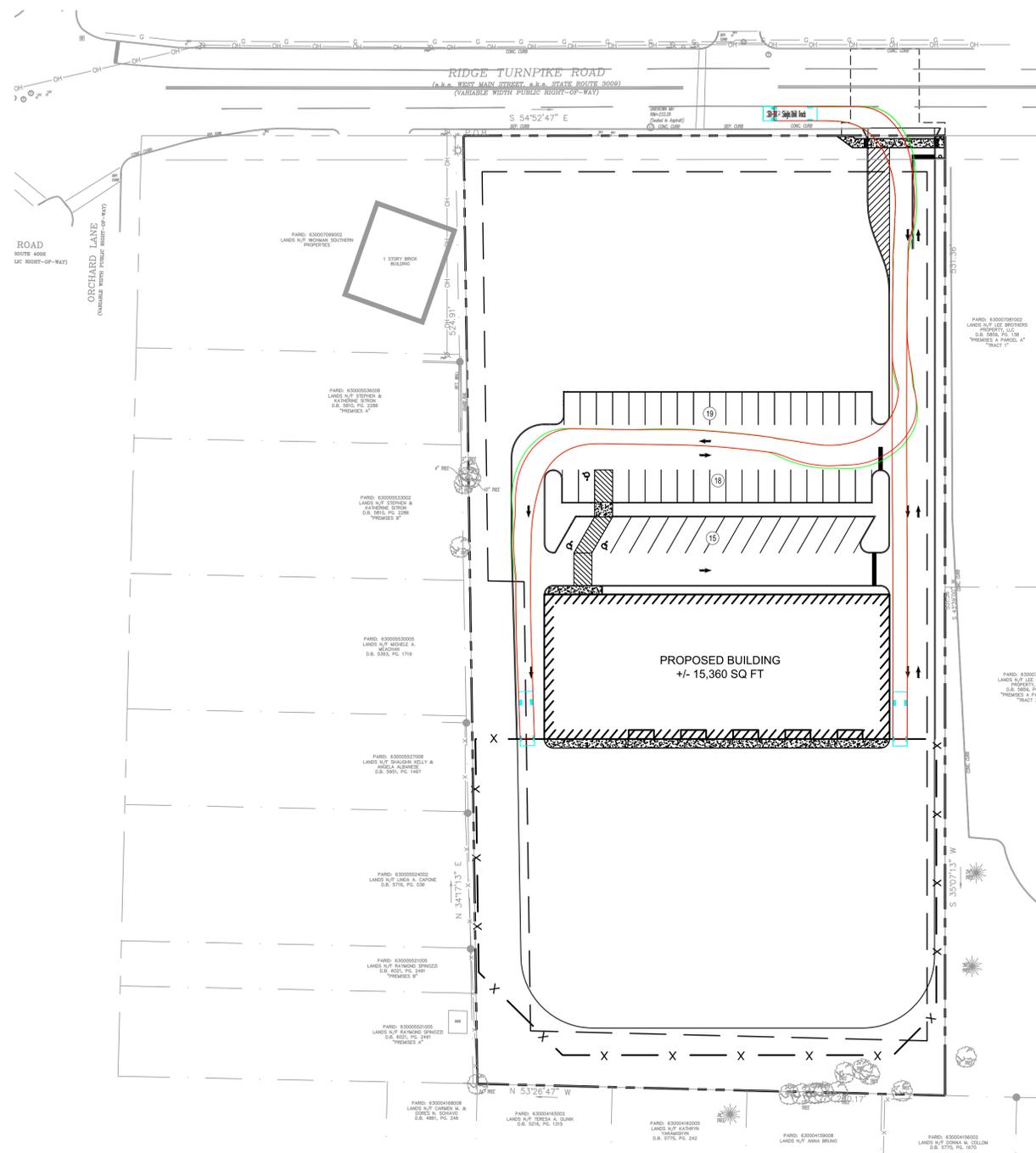
PROPOSED PROPERTY BOUNDARY
 (REZONED AS COMMERCIAL)

INTERIOR LOT LINES
 TO BE REMOVED

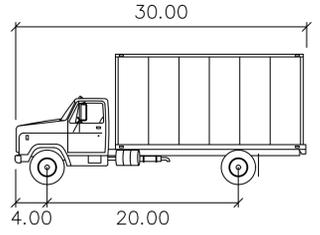
CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 A WORKING DATE NOTICE FOR
 CONSTRUCTION PHASE AND 15 WORKING
 DAYS IN DESIGN PHASE - STOP CALL
 PA 1
 1-800-221-7776

TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC WEST NORRITON TOWNSHIP PENNSYLVANIA	LOT CONSOLIDATION PLAN						
KHA PROJECT 112160000 DATE 09/28/2018 SCALE AS SHOWN DESIGNED BY PH DRAWN BY MP CHECKED BY PH							
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SHEET NUMBER C-150	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">No.</th> <th style="width: 85%;">Description</th> <th style="width: 10%;">Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Description	Date			
No.	Description	Date					

Plotted By: Patterson, Matt. Sheet Set: TLC Headquarters Layout: TRUCK MANEUVERABILITY PLAN. September 28, 2018. 10:46:58am. K:\PHI_PRA\12160000 - TLC Headquarters\CAD\plansheets\C-151 TRUCK MANEUVERABILITY PLAN.dwg
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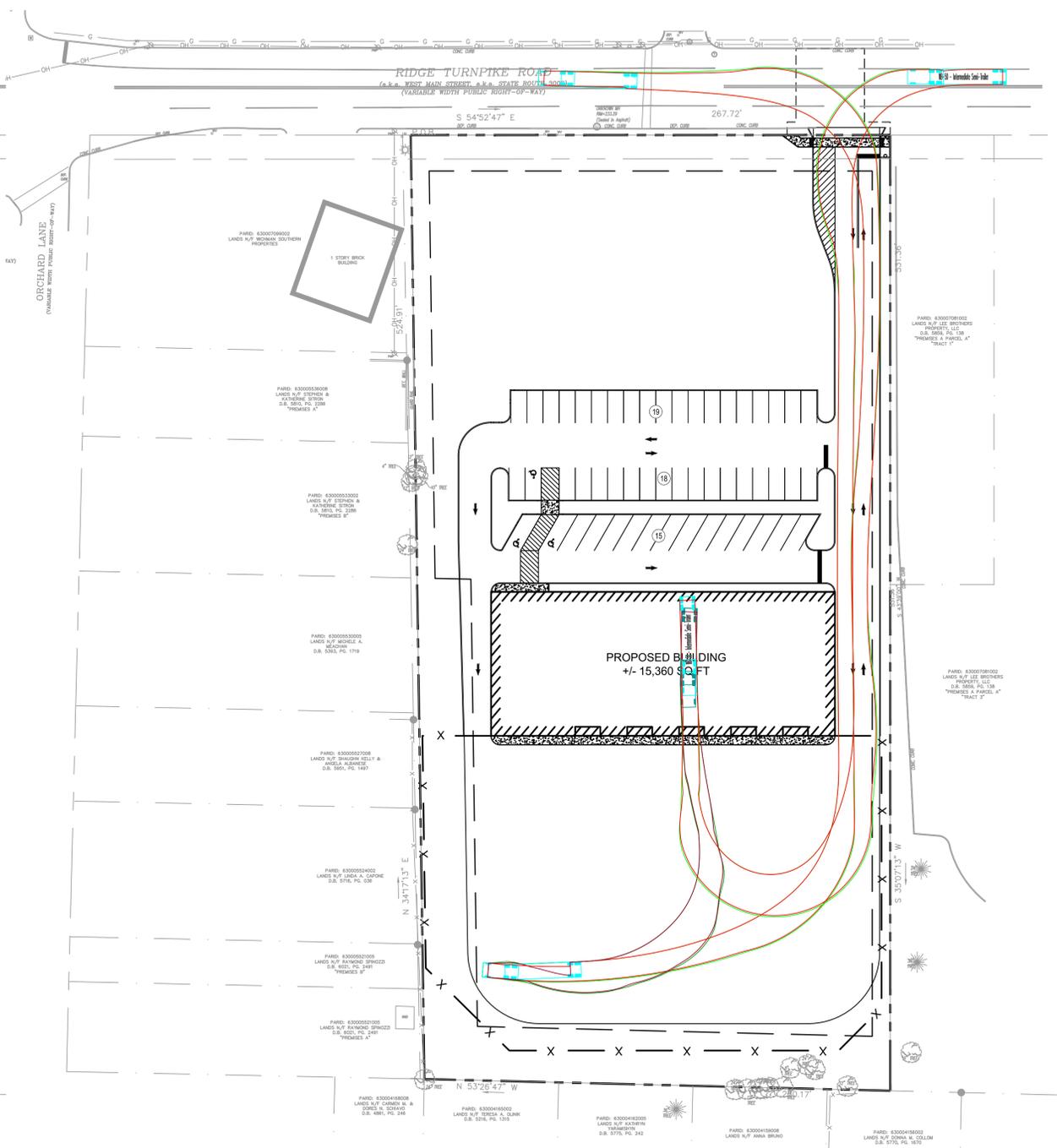


SU-30 TRUCK PROFILE

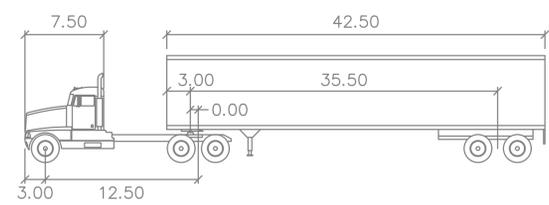


SU-30

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



WB-50 TRUCK PROFILE

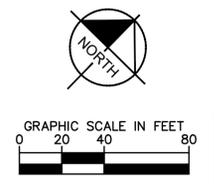


WB-50

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

NOTES

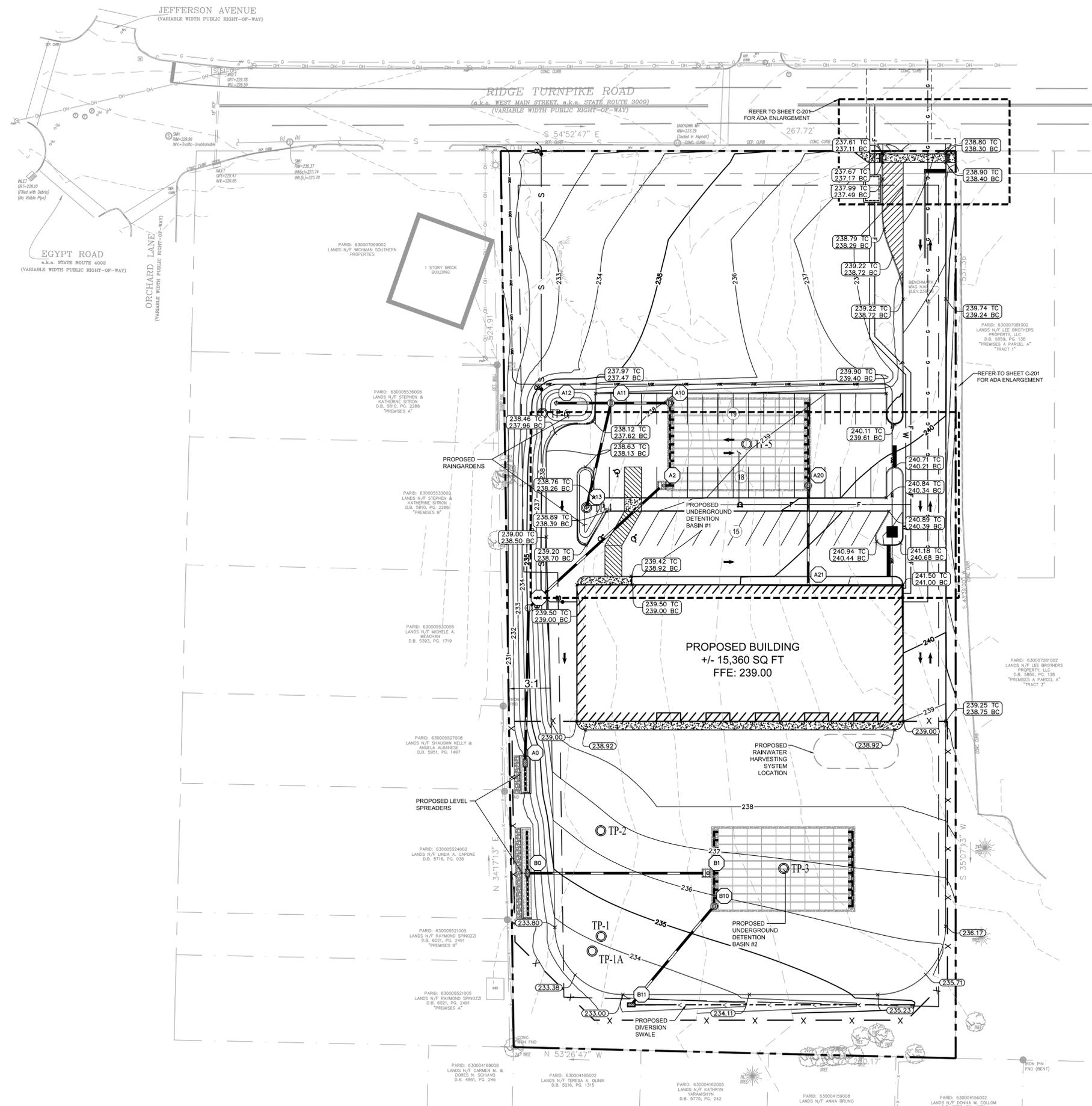
- SU-30 REPRESENTS THE TYPICAL TRUCK FOR THE TLC DRAIN AND SEWER OPERATION.
- WB-50 REPRESENTS OCCASIONAL DELIVERIES (ONCE OR TWICE PER MONTH) FOR WHICH TLC WILL APPLY A LEFT TURN IN ONLY RESTRICTION ON THE DELIVERY COMPANY.
- IT IS ASSUMED LOCAL EMERGENCY VEHICLES WILL BE AT OR BETTER THAN THE MOVEMENTS SHOWN FOR THE WB-50.



CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 PA 1
 LANS-2017-176

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<p>TRUCK MANEUVERABILITY PLAN</p>	
<p>TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC</p>	WEST NORRITON TOWNSHIP PENNSYLVANIA
<p>SHEET NUMBER C-151</p>	

Plotted By: Patterson, Matt. Sheet Set: TLC Headquarters Layout: GRADING AND DRAINAGE PLAN. September 28, 2018 10:47:07am. k:\PHI_PRA\112160000 - tic Headquarters\CAD\plansheets\C-200 GRADING AND DRAINAGE PLAN.dwg
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LEGEND

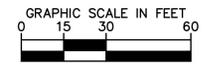
	PROPERTY LINE / LEGAL ROW
	PENNDOT ULTIMATE RIGHT-OF-WAY DEDICATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SLOPE
	PROPOSED SPOT ELEVATION
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE
	PROPOSED CLOSED LID STORM STRUCTURE

SPOT ELEVATION LEGEND

LP	LOW POINT	HP	HIGH POINT
ME	MATCH EXISTING TOP OF WALL	TC	TOP OF CURB
TW	TOP OF WALL	BW	BOTTOM OF WALL
EX	EXISTING ELEVATION		

*ALL UNLABELED SPOT ELEVATIONS ARE MEASURED AT THE FLOW LINE

- GRADING & DRAINAGE NOTES**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. VERTICAL DATUM NAVD 88.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
 - EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - ALL PENETRATIONS / OPENINGS AROUND PIPES MUST BE FORMED & FILLED WITH CLASS AA CONCRETE.
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY FIRST ORDER, LLC. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO MATCH.
 - CONTRACTOR TO MATCH EXISTING GRADE AT PROJECT PROPERTY LINES AND LIMITS OF DISTURBANCE.
 - CONTRACTOR TO DEFER TO TOWNSHIP, COUNTY, AND PENNDOT STANDARDS FOR SUBSURFACE PREPARATION IN PUBLIC STREETS, MEDIAN OPENINGS, AND TURN LANES.
 - NO GRADED SLOPE SHALL EXCEED 3H:1V.
 - ALL ROOF LEADERS FROM THE PROPOSED BUILDING SHALL CONNECT TO STORMWATER SYSTEM. SEE PLUMBING AND ARCHITECTURAL PLANS FOR DETAILS.
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 - SIDEWALK / CROSSWALK GRADES AND CROSS SLOPES ARE TO BE A MAXIMUM OF 1/2" PER LF (2% PER ADA).
 - ALL STORM SEWER PIPES TO BE WATERTIGHT UNLESS OTHERWISE NOTED.
 - ALL CURBS ARE 6" HEIGHT UNLESS OTHERWISE NOTED.



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REVISIONS

No.	DATE	BY

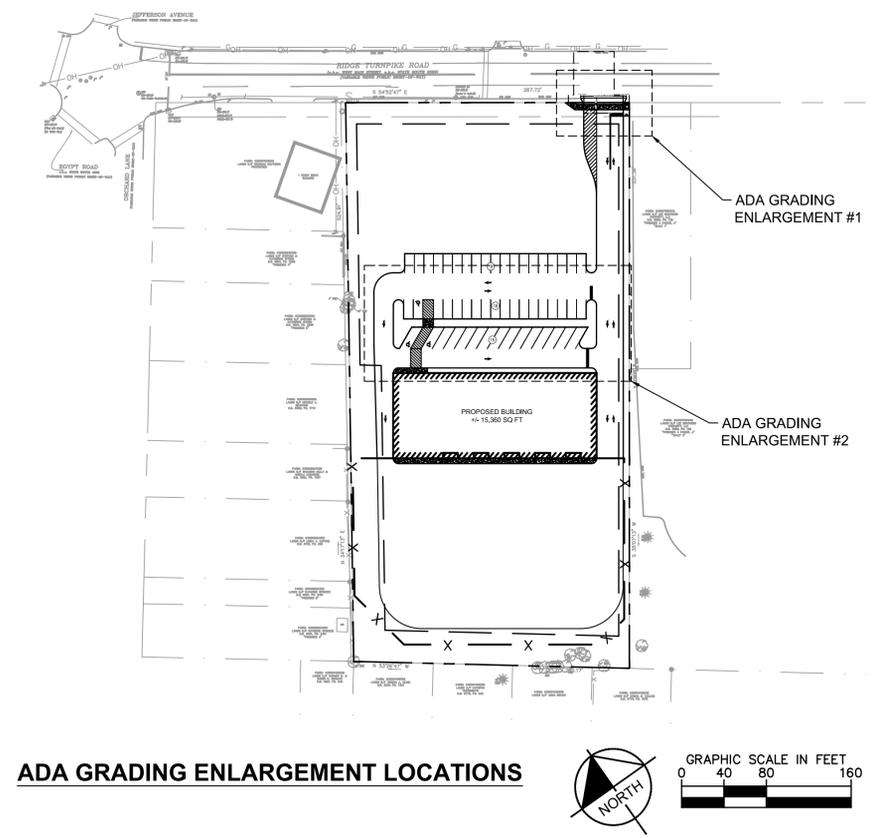
GRADING AND DRAINAGE PLAN

TLC DRAIN AND SEWER
PREPARED FOR
**PRESTIGE WORLDWIDE
PROPERTY INVESTMENTS, LLC**

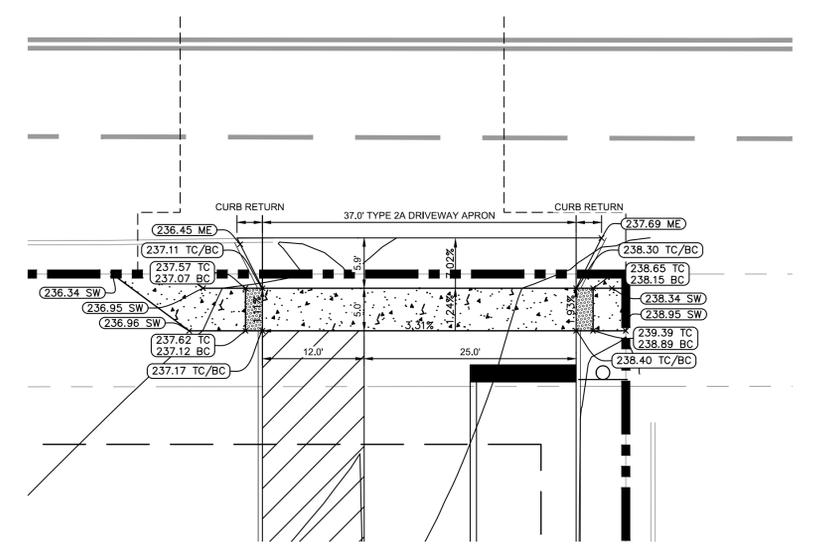
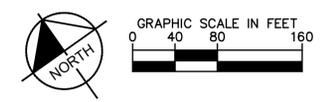
WEST NORRITON TOWNSHIP
PENNSYLVANIA

SHEET NUMBER
C-200

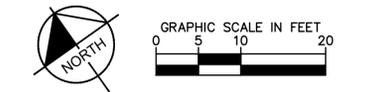
Plotted By: Patterson, Matt. Sheet Set: TLC Headquarters Layout: ADA GRADING PLAN. September 28, 2018. 10:47:18am. K:\PHI_PRA\112160000 - TLC Headquarters\CAD\Drawings\C-201 ADA GRADING PLAN.dwg
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ADA GRADING ENLARGEMENT LOCATIONS



ADA GRADING ENLARGEMENT #1



LEGEND

	PROPERTY LINE / LEGAL ROW
	PENNDOT ULTIMATE RIGHT-OF-WAY DEDICATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SLOPE
	PROPOSED SPOT ELEVATION

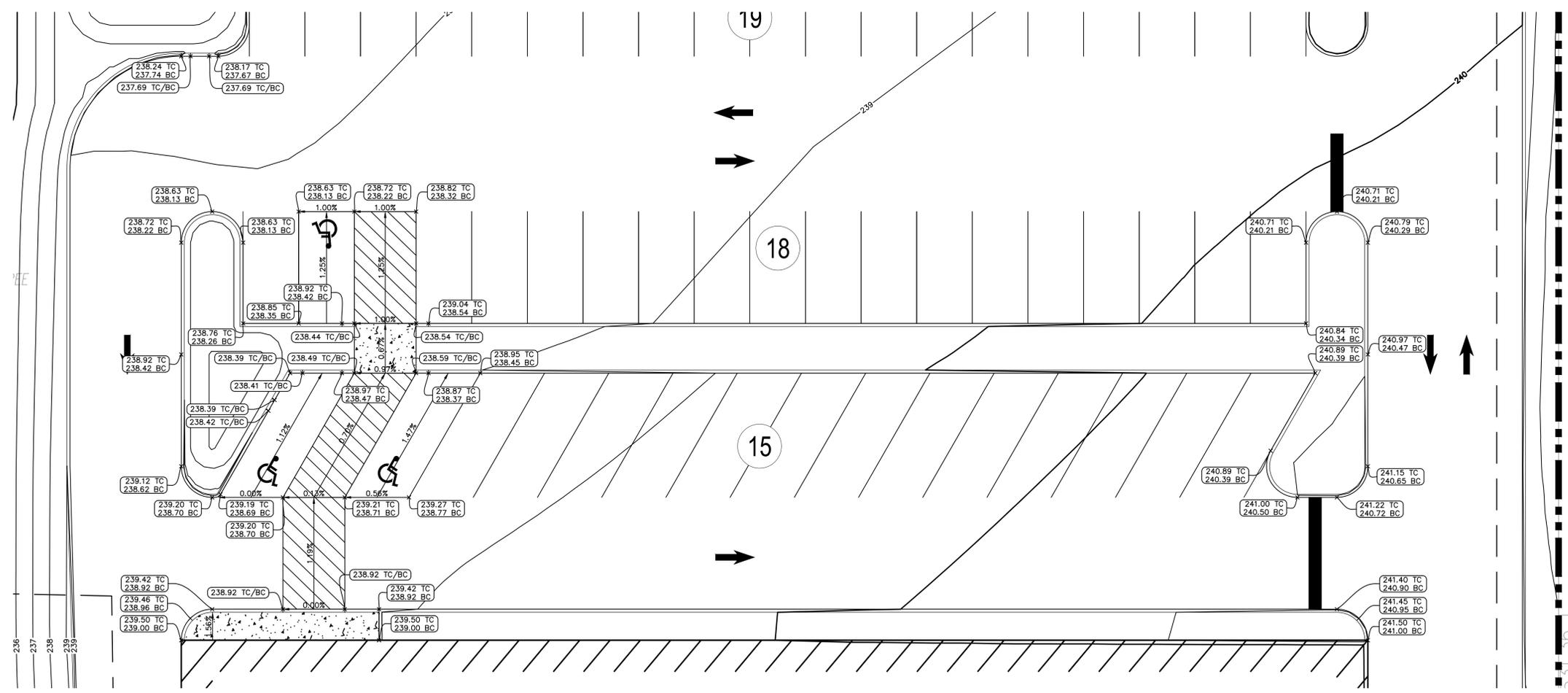
SPOT ELEVATION LEGEND

LP	LOW POINT	HP	HIGH POINT
ME	MATCH EXISTING	TC	TOP OF CURB
TW	TOP OF WALL	BW	BOTTOM OF WALL
EX	EXISTING ELEVATION		

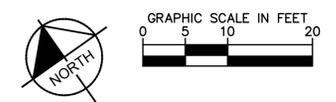
ALL UNLABELED SPOT ELEVATIONS ARE MEASURED AT THE FLOW LINE

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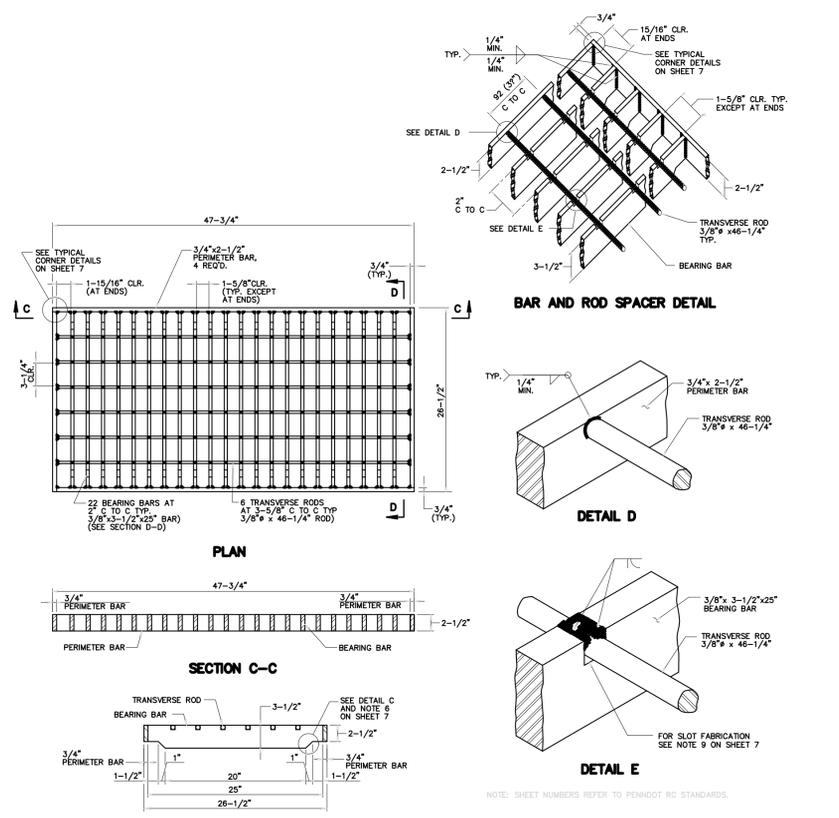
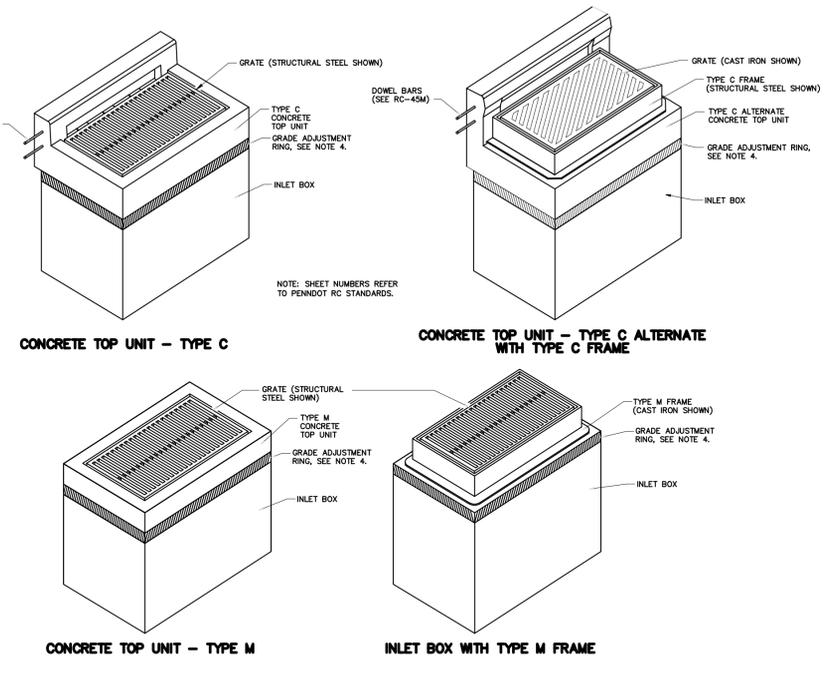
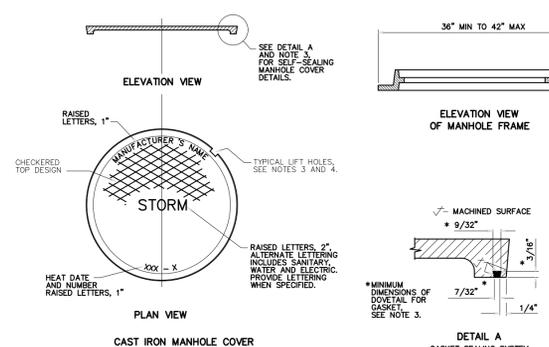
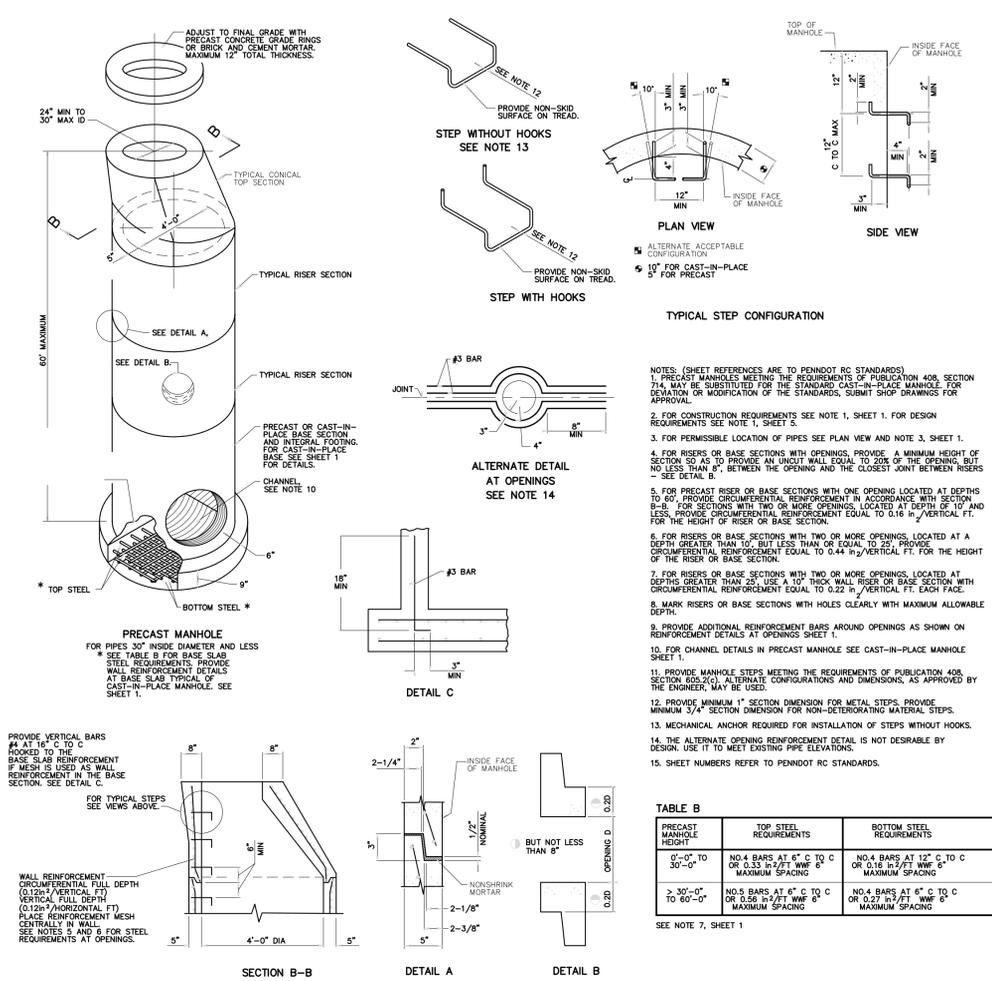
ADA GRADING ENLARGEMENT #2



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 CONSTRUCTION PHASE AND 10 WORKING
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 PA 1
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ADA GRADING PLAN	KHA PROJECT 112160000 DATE 09/28/2018 SCALE AS SHOWN DESIGNED BY PH DRAWN BY MP CHECKED BY PH
TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC	PENNSYLVANIA WEST NORRITON TOWNSHIP
SHEET NUMBER C-201	REVISIONS No. DATE BY

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PHONE: 215-854-6396
WWW.KIMLEY-HORN.COM

DATE: _____

REVISIONS: _____

No. _____

KHA PROJECT: 112160000

DATE: 09/28/2018

SCALE: AS SHOWN

DESIGNED BY: PH

DRAWN BY: MP

CHECKED BY: PH

TLC DRAIN AND SEWER

PREPARED FOR: PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC

PENNSYLVANIA

WEST NORRITON TOWNSHIP

DRAINAGE DETAILS

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 15 WORKING DAYS IN DESIGN PHASE - STOP CALL

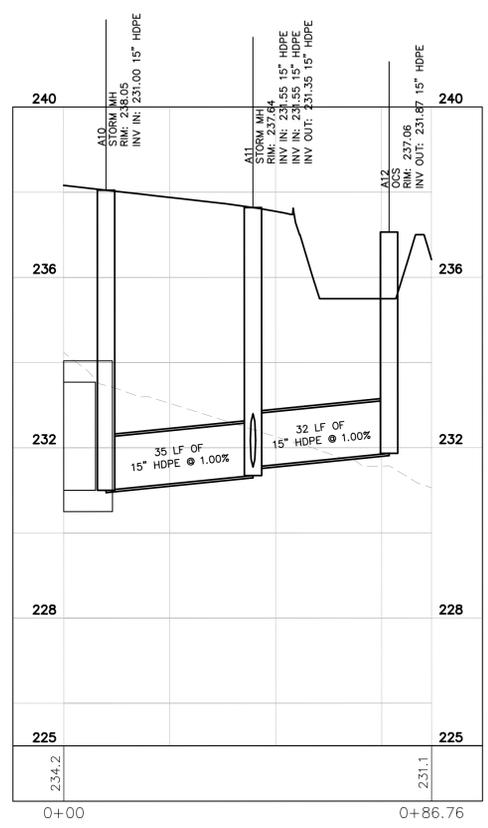
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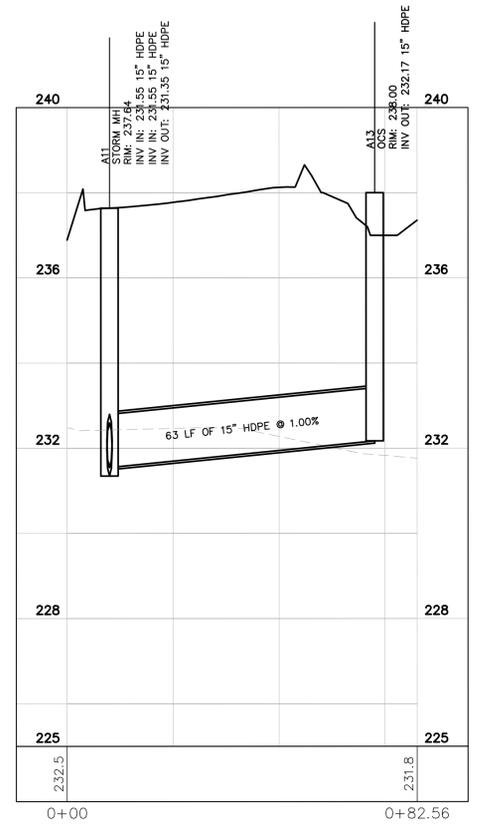
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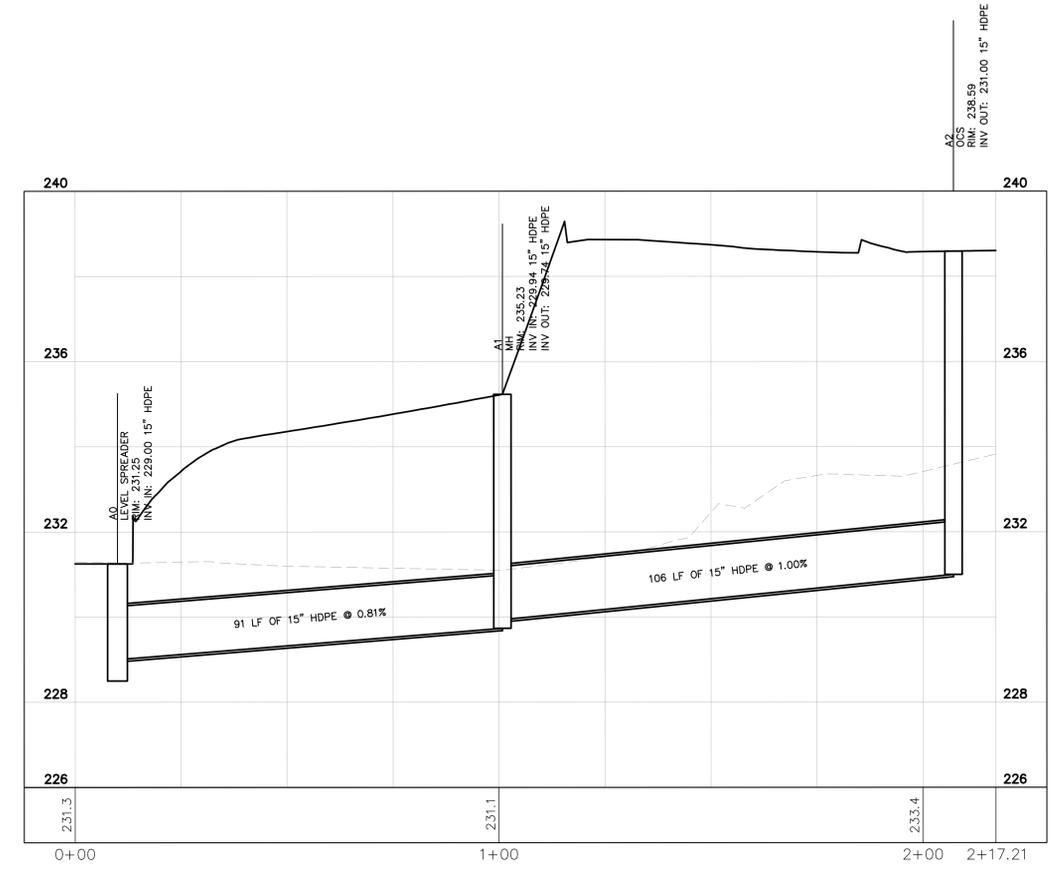
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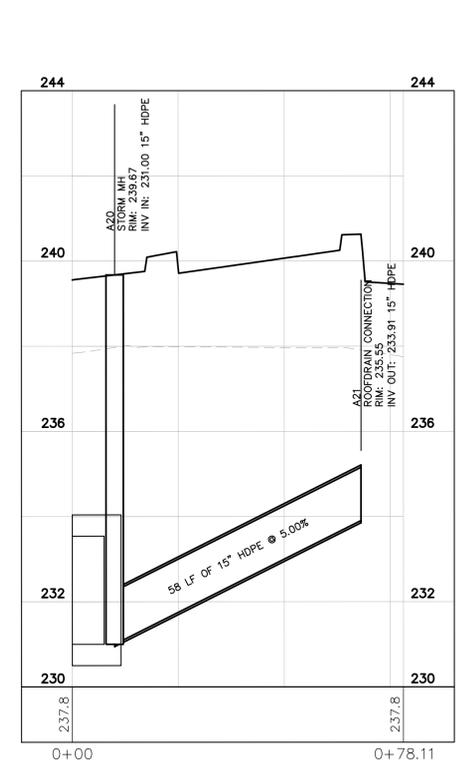
1 STORM A12 TO STORM A10



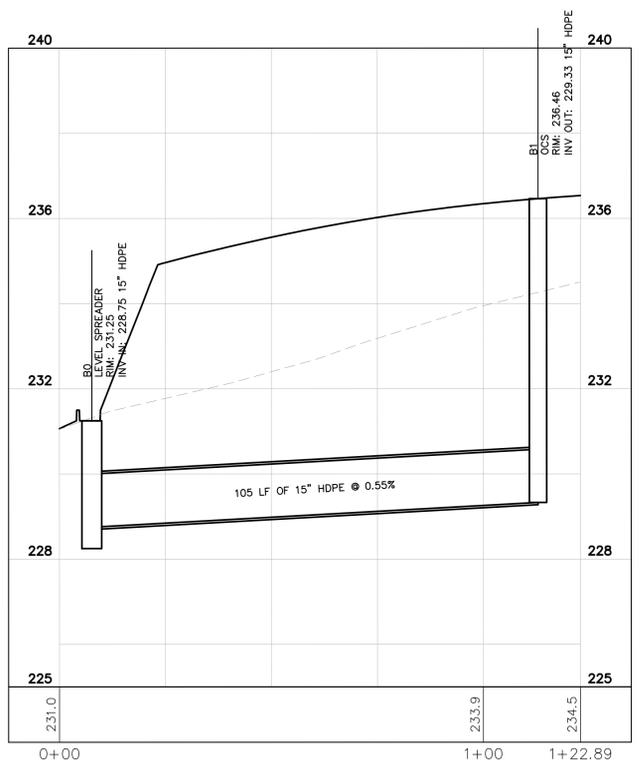
2 STORM A13 TO STORM A11



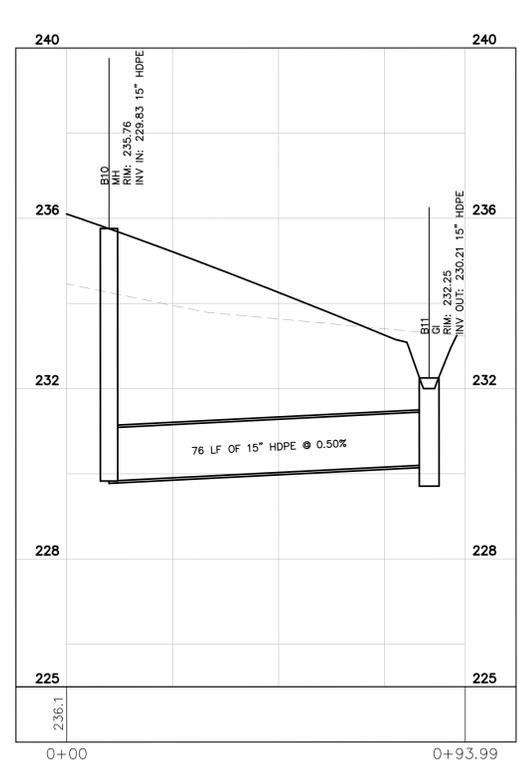
3 STORM A2 TO STORM A0



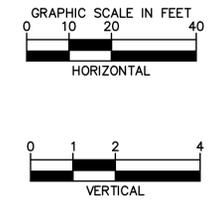
4 STORM A21 TO STORM A20



5 STORM B1 TO STORM B0



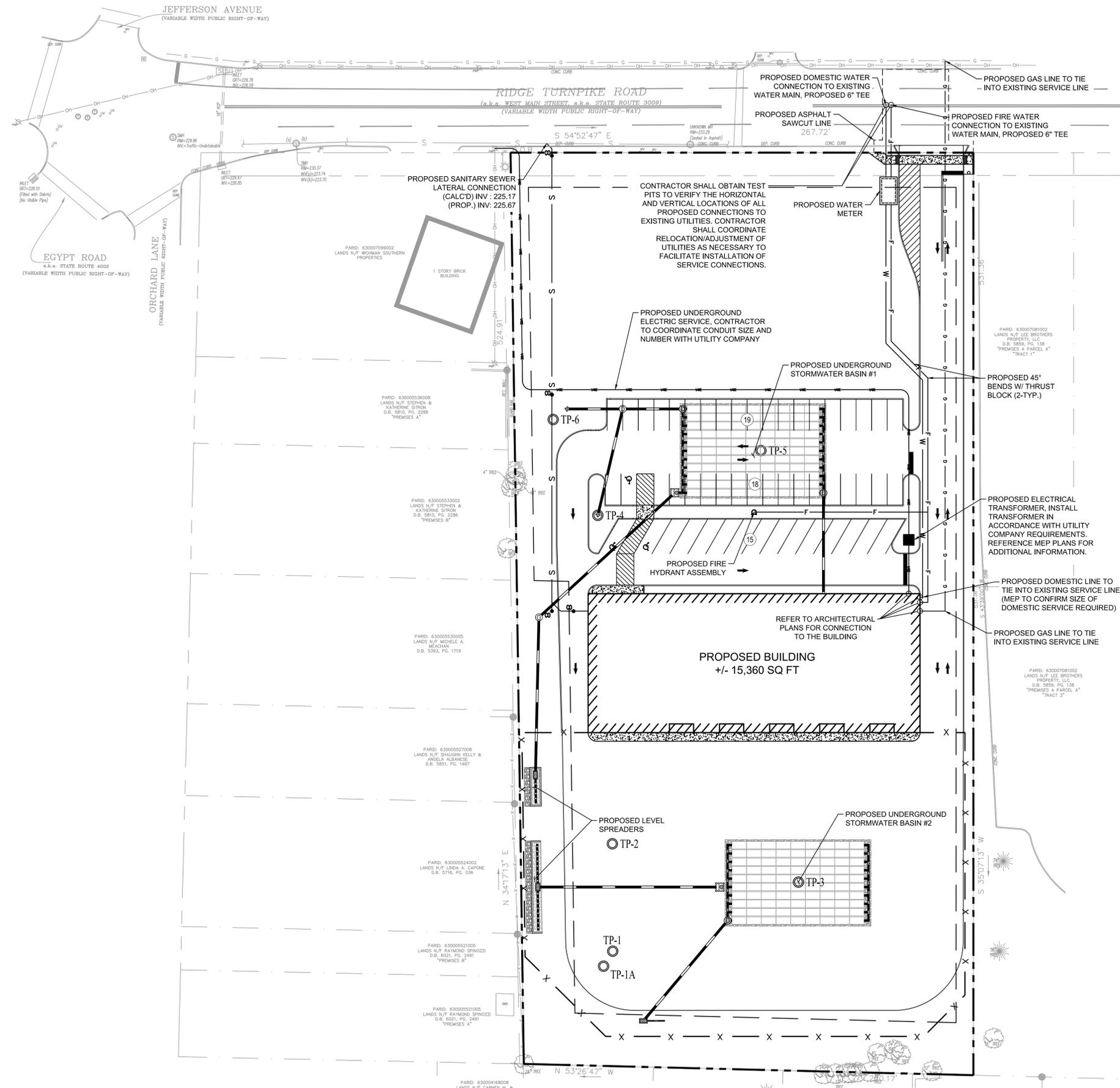
6 STORM B11 TO STORM B10



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 CONSTRUCTION. PLEASE CALL 1-800-488-7829
 15 DAYS IN ADVANCE. STOP CALL
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		KHA PROJECT 112160000	DATE 09/28/2018
TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC WEST NORRITON TOWNSHIP PENNSYLVANIA		DRAINAGE PROFILES	
SHEET NUMBER C-250		DRAWN BY MP	CHECKED BY PH
REVISIONS No.		DATE	BY

Plotled By: Patterson, Matt. Sheet: SLL.TLC. Headquarters. Layout: UTILITY PLAN. September 28, 2018 10:47:42am K:\PHI_PRA\112160000 - tic_headquarters\CAD\plansheets\C-300 UTILITY PLAN.dwg
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LEGEND

- — — — — EXISTING PROPERTY LINE
- — — — — PROPOSED PROPERTY LINE
- — — — — PROPOSED SANITARY SEWER PIPE
- — — — — PROPOSED WATERLINE (FIRE / DOMESTIC)
- — — — — PROPOSED GAS LINE
- — — — — PROPOSED UNDERGROUND ELECTRIC
- ⊙ PROPOSED SANITARY SEWER STRUCTURE
- ⊙ PROPOSED OPEN LID STORM STRUCTURE
- ⊙ PROPOSED CLOSED LID STORM STRUCTURE
- — — — — PROPOSED STORM SEWER LINE
- ⊙ PROPOSED FIRE HYDRANT
- - - - - PROPOSED EASEMENT

UTILITY NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER PIPE SHALL BE IN ACCORDANCE WITH THE "SANITARY SEWER GENERAL NOTES" NOTED ON THIS SHEET.
4. WATER LINES SHALL BE AS FOLLOWS:
 6" AND LARGER, PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI 816.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
5. ALL DUCTILE IRON PIPE SHALL UTILIZE POLYETHYLENE ENCASEMENT OR OTHER OWNER APPROVED CATHODIC PROTECTION. POLYETHYLENE ENCASEMENT SHALL BE PER AWWA C105 AND ASTM A674.
6. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
7. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
8. ALL WATER AND SEWER UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
9. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATERLINES.
10. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE PVC C-900 PER ASTM D 2241 CLASS 150 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
13. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
15. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE UTILITIES.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
18. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO BUILDING POSSESSION.
19. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
20. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
21. CONTRACTOR TO MAINTAIN EXISTING OFFSITE WATER SERVICE AT ALL TIMES.
22. ALL METAL PIPES SHALL BE WRAPPED IN POLY PLASTIC.
23. ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.

SANITARY SEWER GENERAL NOTES

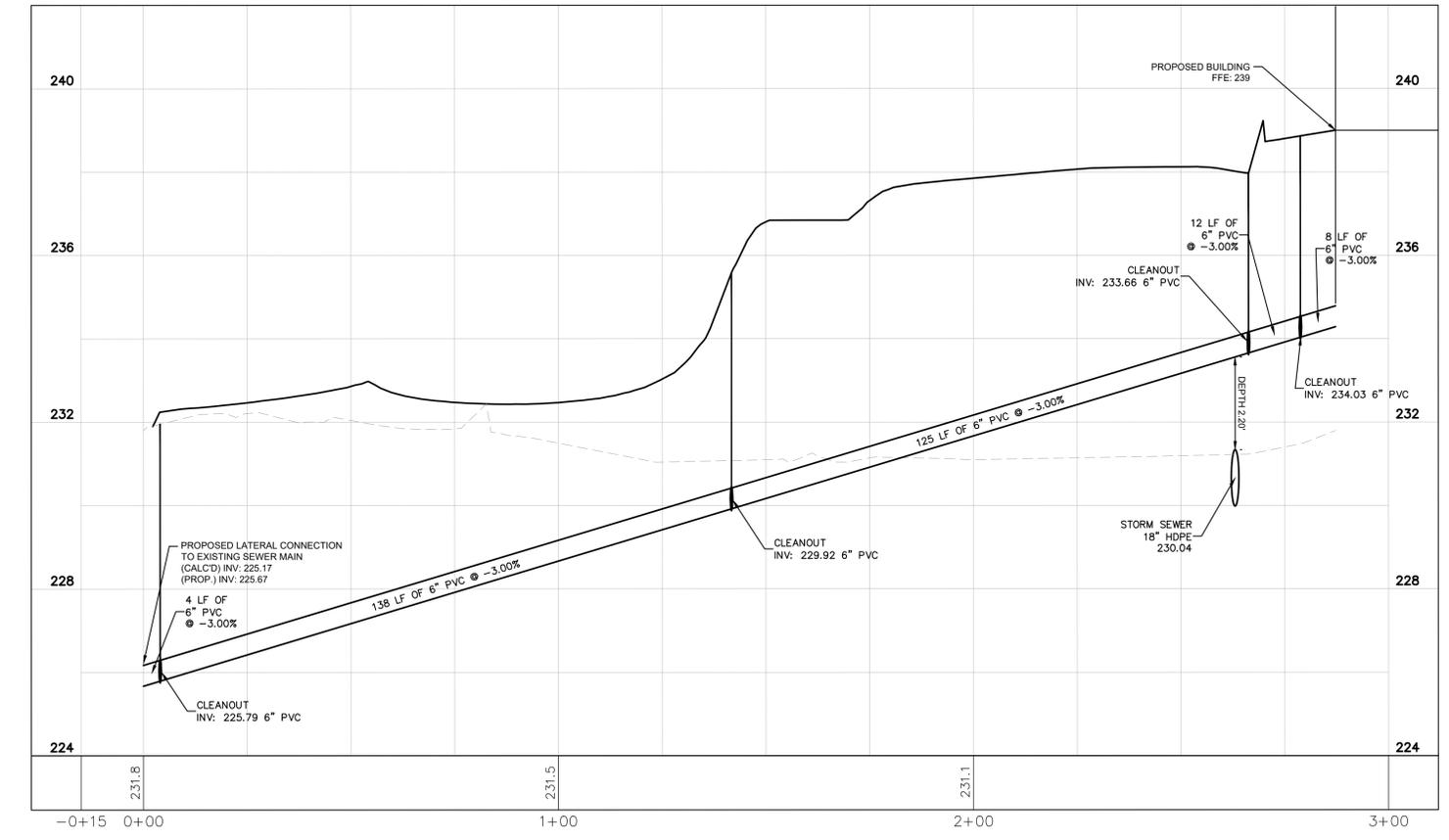
1. ALL SANITARY SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH SEWER AUTHORITY SPECIFICATIONS.
2. THE SEWER AUTHORITY IS TO BE CONTACTED ONE WEEK PRIOR TO SANITARY SEWER CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATING NEAR OR CONNECTING INTO ANY EXISTING SEWER FACILITIES.
3. ALL SANITARY SEWER FACILITIES ARE TO REMAIN PRIVATE AND ARE NOT OFFERED FOR DEDICATION TO THE SEWER AUTHORITY.
4. CLEANOUTS SHALL BE PROVIDED FOR ALL SANITARY SEWER LATERALS AT THE RIGHT-OF-WAY, EDGE OF EASEMENT, AND/OR AT ALL MAJOR CLEANOUTS IN DIRECTION. LATERALS WITHIN THE ROADWAY RIGHT-OF-WAY SHOULD BE PROVIDED AT 2% MINIMUM SLOPE. CLEANOUTS SHALL BE CUT TO SIX INCHES ABOVE FINISHED GRADE AND PROVIDE WITH A RECESSED TYPE FLUG. CLEANOUTS WITHIN PAVED AREAS OR WITHIN THREE FEET OF PAVED AREAS SHALL BE PROVIDED WITH A CLEANOUT PROTECTION SLEEVE.
5. TEN FEET OF HORIZONTAL CLEARANCE OR 18-INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN THE SANITARY SEWER AND ALL OTHER UTILITIES, OTHERWISE, CONCRETE ENCASEMENT OF THE SANITARY SEWER SHALL BE PROVIDED.
6. THERE SHALL NOT BE BUILT, INSTALLED, CONSTRUCTED, PLANTED OR LOCATED ANY TEMPORARY OR PERMANENT BUILDINGS OR STRUCTURES, OR ANY TREES, SHRUBS OR OTHER LANDSCAPING WITHIN 10 FEET OF SANITARY SEWER FACILITIES, EXCEPT TREES, SHRUBS AND OTHER LANDSCAPING WHICH WILL NOT GROW TO MORE THAN SIX FEET (6-FEET) IN HEIGHT.

NOTE: REFER TO THE DRAINAGE PROFILES ON SHEET C-250 FOR DRAINAGE PIPE AND STRUCTURE INFORMATION.

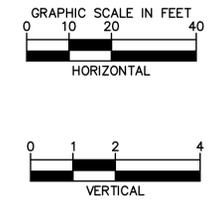
CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 2 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 15 WORKING
 DAYS IN DESIGN PHASE - STOP CALL

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KHA PROJECT 112160000	DATE 09/28/2018	SCALE AS SHOWN	DESIGNED BY PH
			MP
			PH
TLC DRAIN AND SEWER		UTILITY PLAN	
PREPARED FOR PRESTIGE WORLDWIDE		PENNSYLVANIA	
PROPERTY INVESTMENTS, LLC		WEST NORRITON TOWNSHIP	
SHEET NUMBER C-300		REVISIONS	
		DATE	

Plotted By: Patterson, Matt_Sell, TLC Headquarters, Layout: UTILITY_PROFILES, September 28, 2018, 10:47:59am, K:\PHI_PRA\112160000 - K:\PHI_PRA\112160000 - 11c_headquarters\CAD\plansheets\C-350_UTILITY_PROFILES.dwg
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1 SANITARY SEWER PROFILE



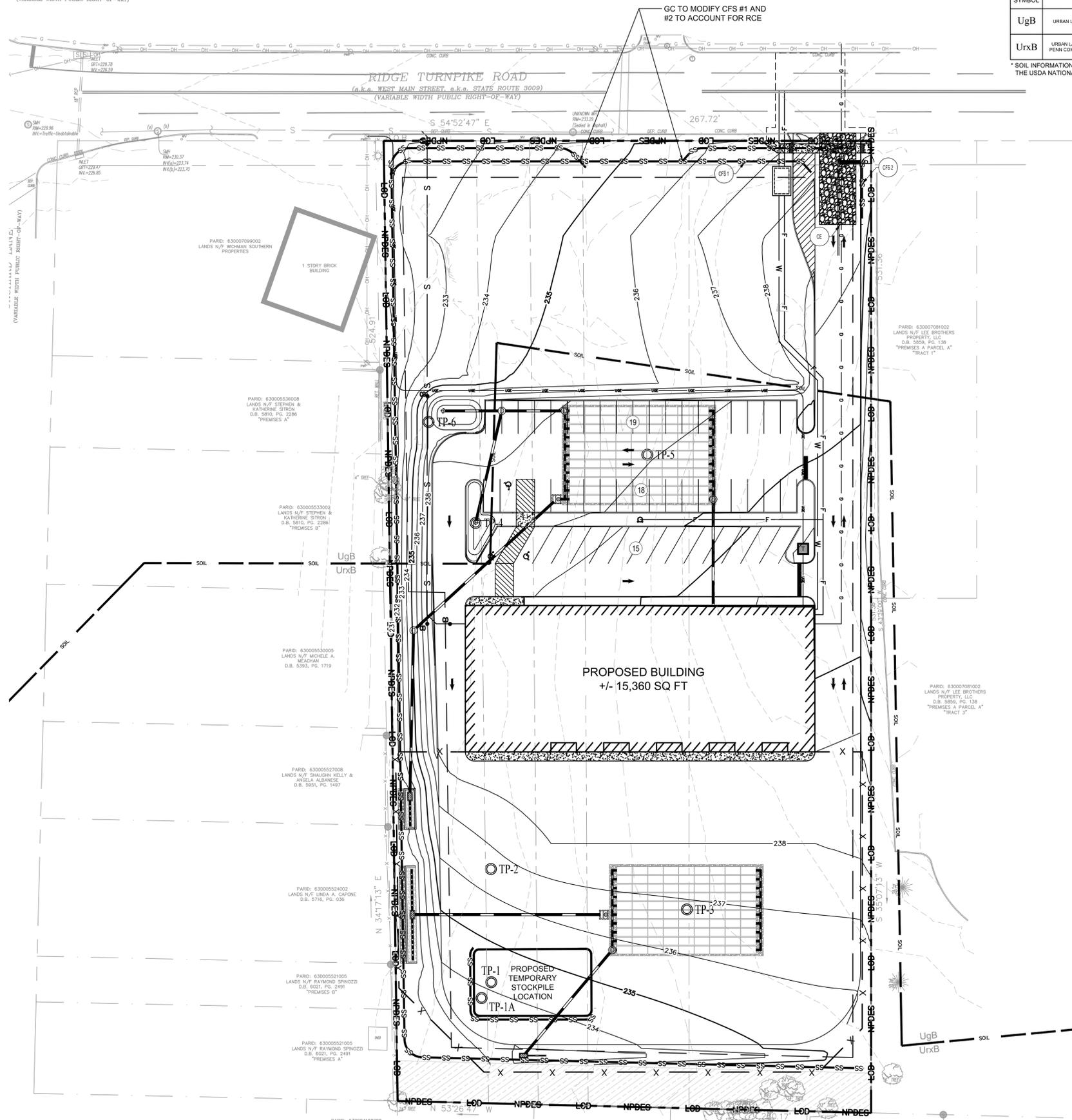
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TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC WEST NORRITON TOWNSHIP PENNSYLVANIA	UTILITY PROFILES	KHA PROJECT 112160000	DATE 09/28/2018	SCALE AS SHOWN	DESIGNED BY PH	DRAWN BY MP	CHECKED BY PH	
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REVISIONS							No.	DATE
BY							BY	BY

Plotted By: Patterson, Matt. Sheet: Sed, TLC Headquarters - Layout/Erosion and Sediment Control Phase 2. September 28, 2018 10:48:19am. K:\PHI_PRA\12160000 - lic Headquarters\CAD\layoutsheets\C-410 Erosion and Sediment Control Phase 2.dwg
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JEFFERSON AVENUE
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

RIDGE TURNPIKE ROAD
(a.k.a. WEST MAIN STREET a.k.a. STATE ROUTE 3009)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



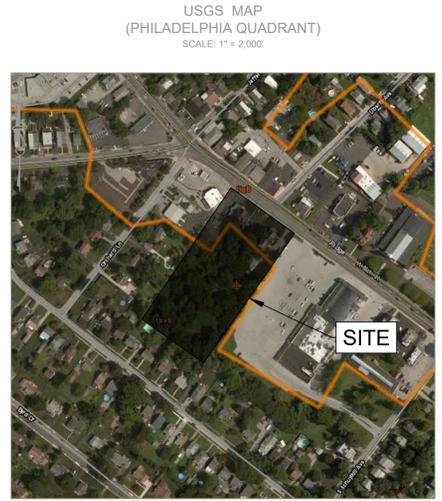
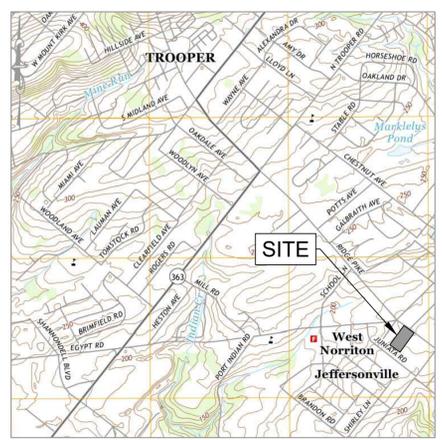
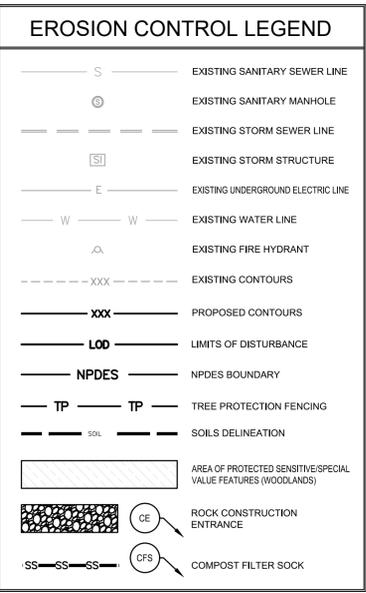
SOIL SUITABILITY AND CHARACTERISTICS

MAP UNIT SYMBOL	SOIL	DEPTH TO SEASONAL HIGH WATER TABLE	DEPTH TO BEDROCK	FOR USE AS ROADFILL	FOR USE AS TOPSOIL	FOR USE AS GRAVEL	FOR USE AS SAND	HYDRIC SOILS	HYDRIC SOIL GROUP
UgB	URBAN LAND	-	-	NOT RATED	NOT RATED	NOT RATED	NOT RATED	-	-
UrxB	URBAN LAND - PENN COMPLEX	MORE THAN 80"	15-100" TO LITHIC BEDROCK	NOT RATED	NOT RATED	NOT RATED	NOT RATED	-	B

* SOIL INFORMATION HAS BEEN OBTAINED FROM THE WEB SOIL SURVEY WHICH IS OPERATED BY THE USDA NATIONAL RESOURCES CONSERVATION SERVICE.

SOIL LIMITATIONS AND RESOLUTIONS

- BEDROCK LIMITATION
 - INFORM CONTRACTOR
- SEASONAL HIGH WATER TABLE LIMITATION
 - DURING CONSTRUCTION PONDING WATER NEEDS TO BE PUMPED TO A SEDIMENT FILTER BAG OR OTHER SEDIMENT CONTROL BMP.
- REUSE OF ON-SITE SOILS FOR ROADFILL, GRAVEL, SAND AND TOPSOIL LIMITATION
 - CONTRACTOR TO IMPORT MATERIAL WHERE NECESSARY OR BORROW FROM OTHER AREAS OF ON-SITE CUTS WHERE SOIL CHARACTERISTICS ARE SUITABLE.



STAGE II - SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL CONTACT ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATION.

ALL STONE THAT MAKES UP THE UNDERGROUND RETENTION BASINS MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE.

BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT

BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE MONTGOMERY COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS.

ALL UNDERGROUND PIPES, WORKS, LINES, STRUCTURES, SUBGRADES, OR BASE COURSES SHALL BE INSPECTED AND APPROVED BY THE MUNICIPALITY BEFORE THEY SHALL BE COVERED. THE OPERATOR MUST GIVE THE MUNICIPALITY AT LEAST FORTY EIGHT (48) HOURS NOTICE IN ADVANCE.

AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION. TO AVOID AIRBORNE PARTICLE ISSUES, DUST CONTROL MEASURES SHOULD BE ENACTED. SPRINKLING AND IRRIGATION IS RECOMMENDED.

THE NPDES NOTICE OF TERMINATION (N.O.T.) MUST BE SUBMITTED TO PA DEP UPON COMPLETION OF CONSTRUCTION (WHEN APPLICABLE).

WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A 'SURFACE WATER' (WHEN APPLICABLE).

- STAGE II
- INSTALL ROCK CONSTRUCTION ENTRANCE (RCE).
 - INSTALL BYPASS VEGETATIVE SWALE.
 - STABILIZE IMMEDIATELY USING NORTH AMERICAN GREEN S75 EROSION CONTROL MATTING (OR APPROVAL EQUIVALENT) AS SHOWN ON THE PLAN.
 - INSTALL UNDERGROUND RETENTION BASIN #1.
 - INSTALL ALL PROPOSED STORM SEWER RUN A0-A21 AS SHOWN ON THIS PLAN.
 - INSTALL UNDERGROUND RETENTION BASIN #2.
 - INSTALL ALL PROPOSED STORM SEWER RUN B0-B11 AS SHOWN ON THIS PLAN.
 - ROUGH GRADE PROPOSED BUILDING PAD, DRIVE AISLES AND PARKING AREAS THROUGHOUT THE SITE AS SHOWN ON THE PLAN. PROVIDE TEMPORARY STABILIZATION FOR TEMPORARY STABILIZATION REQUIREMENTS REFER TO GENERAL CONSERVATION NOTES AND SPECIFICATIONS ON SHEET C-450) AND INSTALL EROSION CONTROL MATTING WHERE SHOWN AS PER DETAILS AND MANUFACTURERS SPECIFICATIONS.
 - COMMENCE BUILDING CONSTRUCTION. GC TO ENSURE POSITIVE DRAINAGE TO ALL SEDIMENT CONTROL BMP'S.
 - ONCE BUILDING ROOF HAS BEEN CONSTRUCTED, CONNECT ROOF DRAINS INTO SPECIFIED STORM SEWERS.
 - EXCAVATE AND INSTALL REMAINING UTILITIES.
 - INSTALL CONCRETE CURBING AND CONCRETE SIDEWALKS. TOP COAT AND PAVEMENT MARKINGS DO NOT NEED TO BE INSTALLED AT THIS TIME.
 - PERFORM FINAL GRADING. STABILIZE IMMEDIATELY.
 - RESPREAD TOPSOIL AND FINE GRADE.
 - SEED AREAS THAT ARE TO BE CONVERTED TO LAWN WITH PERMANENT MATERIAL.
 - INSTALL FINAL VEGETATION INCLUDING SOD, LANDSCAPING AND TREES
 - FLUSH STORM SEWERS OF DEBRIS AND ALL UNWANTED MATERIALS.
 - INSTALL WEARING COURSE WITHIN CARTWAY, PARKING AREAS AND DRIVEWAYS AND WITH RIGHT-OF-WAY.
 - PAINT AND INSTALL ALL PROPOSED SIGNAGE.
 - CLEAR SITE OF ALL UNWANTED MATERIAL. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL ON-SITE MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT R. E. REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE AND BUILDING MATERIAL OR WASTE AT THIS SITE.
 - THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION 'RECORD DRAWINGS' WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL.

SITE DATA

APPLICANT / EQUITABLE OWNER:	PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC P.O. BOX 327 BRIDGEPORT, PA 19405 (215) 395-9772 CONTACT: RICK MELLE
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*RESPONSIBLE PARTY FOR OPERATION & MAINTENANCE OF STORMWATER BMP'S

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 15 WORKING DAYS IN DESIGN STAGE - STOP CALL

Kimley-Horn
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 TWO LIBERTY PLACE, 50 SOUTH 16TH STREET, SUITE 1650
 PHILADELPHIA, PA 19102
 PHONE: 215-854-6396
 WWW.KIMLEY-HORN.COM

Professional Engineer
 PA 009231
 PAUL W. HUGHES

KHA PROJECT	112160000
DATE	09/28/2018
SCALE	AS SHOWN
DESIGNED BY	PH
DRAWN BY	MP
CHECKED BY	PH

TLC DRAIN AND SEWER
 PREPARED FOR
PRESTIGE WORLDWIDE
PROPERTY INVESTMENTS, LLC

EROSION AND SEDIMENT CONTROL
PHASE 2

SHEET NUMBER
C-410

WEST NORRITON TOWNSHIP
 PENNSYLVANIA

PlotLed: By: Patterson, Matt. Sheet: Sed. TLC Headwaters - Local/Erosion and Sediment Control Notes - September 28, 2018 10:48:24am. K:\PHIL_PRA\12180000 - Lic. headwaters\CAD\plansets\C-450 EROSION AND SEDIMENT CONTROL NOTES.dwg. This document, together with the concepts and designs presented herein, is an instrument of service, as intended only for the specific purpose and client for which it was prepared. Reuse of any instrument of service, in whole or in part, without the written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

EROSION CONTROL NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL AGENCIES, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY ENTER FROM WEST MAIN STREET.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 8 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL, AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS.

CONSTRUCTION INSPECTION & MAINTENANCE PROGRAM

THE FOLLOWING MAINTENANCE PROGRAM HAS BEEN DEVELOPED TO PROVIDE FOR THE INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RUNOFF EVENT, AND TO INCLUDE THE REPAIR OF THE BMPs TO ENSURE THEIR EFFECTIVE AND EFFICIENT OPERATION.

CONTRACTOR SHALL MAINTAIN AND MAKE AVAILABLE TO THE XXX COMPLETE, WRITTEN INSPECTION LOGS OF THE ABOVE NOTED INSPECTION AND MAINTENANCE.

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY AND IN ACCORDANCE WITH THESE PROCEDURES, PLANS AND DETAILS. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS. ALL SITE INSPECTIONS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INDICATING THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

- ROCK CONSTRUCTION ENTRANCE** - ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.
- COMPOST FILTER SOCKS** - INSPECTIONS SHALL BE CONDUCTED ON A WEEKLY BASIS AND/OR AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH ½ THE ABOVE GROUND HEIGHT OF THE SOCK. THE SEDIMENT SHALL BE DISPOSED OF ON-SITE AND/OR IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- STONE INLET PROTECTION** - SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- SWALES** - SWALES SHALL BE INSPECTED FOR EROSION AND/OR SEDIMENT ACCUMULATION ON AN ANNUAL BASIS, AFTER A SIGNIFICANT RUNOFF EVENT OR AS DIRECTED BY THE BOROUGH ENGINEER. NEEDED MAINTENANCE SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. AREAS OF EROSION SHALL BE REGRADED AND STABILIZED, AND SEDIMENT MUST BE REMOVED TO RESTORE DESIGN CAPACITIES. ANY REMOVED SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED MANNER AND IN ACCORDANCE WITH APPLICABLE STATE REGULATIONS. ALL AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
- ROCK FILTER** - SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- VEGETATIVE SURFACE STABILIZATION** - SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- COMPOST SOCK CONCRETE WASHOUT FACILITY** - ALL FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY. PLASTIC LINERS SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- TEMPORARY STOCKPILES** - NEEDED MAINTENANCE SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
- RIPRAP APRON** - ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.
- PUMPED WATER FILTER BAG (IF WARRANTED)** - A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME ½ FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FILLED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- SEEDING, MULCHING AND FERTILIZING SHALL BE IN ACCORDANCE WITH THE SEEDING AND MULCHING SCHEDULE.
- SHOULD THE TREE PROTECTION FENCING BE DISTURBED AT ANY POINT, IT SHALL BE REPLACED IMMEDIATELY.
- THE CONTRACTOR SHALL HAVE AVAILABLE WATER TRUCKS OR OTHER MEANS OF CONTROLLING EXCESSIVE DUST AND AIRBORNE DEBRIS.
- ALL DRAINAGE SWALES SHALL BE SEEDED AND MULCHED, AND PROTECTED WITH TURF REINFORCEMENT MAT. NORTH AMERICAN GREEN, AS INDICATED ON PLANS. IF SWALES ARE TO BE SODDED, TURF REINFORCEMENT IS NOT REQUIRED.
- ALL AREAS OF CONCENTRATED SURFACE DRAINAGE SHALL BE SEEDED AND MULCHED, AND PROTECTED WITH TEMPORARY TURF REINFORCEMENT MAT. NORTH AMERICAN GREEN, AS INDICATED ON PLANS. IF AREAS ARE TO BE SODDED, TURF REINFORCEMENT IS NOT REQUIRED.
- AFTER THE STORM CONVEYANCE SYSTEM IS CONSTRUCTED, MONTHLY INSPECTIONS FOR EACH DEVICE WILL BE MADE. AN INSPECTION OF ALL FACILITIES WILL BE MADE AFTER EVERY STORM TO DETERMINE THEIR RESISTANCE TO DRIVING RAINS AND ACCUMULATED RUNOFF.
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT MONTHLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE DONE. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL AREA. SILT THAT HAS ACCUMULATED SHALL BE REMOVED AND ALLOWED TO DRY AND USED AS FILL WHEREVER REQUIRED ON THE SITE.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE MEASURES TO ADDRESS SAID CIRCUMSTANCES.

FILL MATERIALS

IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR.

CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENTS POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

PROJECT CONSTRUCTION WASTES

- TREES - CHIPPED AND REMOVED OFFSITE FOR MULCH.
- BUILDING MATERIALS - SHALL BE REMOVED AND DISPOSED OF AT PROPER RECYCLING FACILITY AS PER NOTE #10 OF THE GENERAL EROSION & SEDIMENT CONTROL NOTES.
- ROCK WASTE - ALL ROCKS THAT ARE SUITABLE FOR LANDSCAPING USES SHALL BE USED ON SITE OR AT ANOTHER FACILITY.
- SOIL WASTE - ALL EXCAVATED SOIL SHALL BE USED ON SITE, AS FILL MATERIAL WHERE POSSIBLE. ANY EXCESS MATERIAL NOT USED ON SITE MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WHERE ALL BMPs ARE PROPERLY INSTALLED. ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROL DEVICES WILL BE INCORPORATED INTO THE FINE GRADING UPSTREAM FROM A SEDIMENT CONTROL DEVICE. EXCESS MATERIAL THAT IS REMOVED FROM EROSION AND SEDIMENTATION CONTROL MEASURES AND CANNOT BE INCORPORATED INTO THE FINE GRADING STABILIZATION SHALL BE REMOVED FROM THE SITE AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WHERE ALL BMPs ARE PROPERLY INSTALLED.
- SEDIMENT REMOVAL FROM ALL SEDIMENT BMPs TO BE RETURNED TO SITE UPSTREAM OF ALL PROPOSED BMPs.
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEPS SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

E&S PLANNING AND DESIGN NOTES

GENERALLY, THE PROPOSED BMPs WERE SELECTED TO:

- MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE BY LIMITING THE CLEARING, GRUBBING, AND TOPSOIL STRIPPING TO AREAS IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE CONSTRUCTION SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THE E&S PLAN. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE CONTRACTOR SHALL STABILIZE ALL AREAS DISTURBED BY ANY ACTIVITY.
- MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION BY ONLY LIMITING DISTURBANCE TO BE PERMITTED IN ORDER TO PROVIDE ACCESS TO INSTALL REQUIRED E&S BMPs. THE BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREA TO THE UPSTREAM BMPs. ALL E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL UPSTREAM TRIBUTARY AREAS HAVE BEEN PERMANENTLY STABILIZED. AT NO TIME WILL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARY. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAYS SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY. IN NO CASE SHALL THE SEDIMENT BE WASHED SHOVELLED OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER OR SURFACE WATER. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED TO MAINTAIN THE EXISTING DRAINAGE PATTERNS OF THE SITE.
- MINIMIZE SOIL COMPACTION BY IMPLEMENTING A SEQUENCE OF CONSTRUCTION THAT HAS BEEN DESIGNED TO LIMIT THE EXTENT AND DURATION OF DISTURBANCE ACTIVITIES THAT WILL LIMIT THE EXTENT OF HEAVY TRAFFIC OVER SENSITIVE AREAS NECESSARY FOR THE PCSM DESIGN.
- UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF. THE PROPOSED DESIGN WILL DIRECT RUNOFF FROM THE CONSTRUCTION AREAS TO SPECIFIED E&S BMPs (AS SHOWN ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN) THAT WILL MITIGATE ANY STORMWATER RUNOFF PRIOR TO LEAVING THE SITE.

SOIL SUITABILITY AND CHARACTERISTICS

MAP UNIT SYMBOL	SOIL	DEPTH TO SEASONAL HIGH WATER TABLE	DEPTH TO BEDROCK	FOR USE AS ROADFILL	FOR USE AS TOPSOIL	FOR USE AS GRAVEL	FOR USE AS SAND	HYDRIC SOILS	HYDRIC SOIL GROUP
UgB	URBAN LAND	.	.	NOT RATED	NOT RATED	NOT RATED	NOT RATED	.	.
UrxB	URBAN LAND - PENN COMPLEX	MORE THAN 90"	10-100" TO UTRIC BEDROCK	NOT RATED	NOT RATED	NOT RATED	NOT RATED	.	B

* SOIL INFORMATION HAS BEEN OBTAINED FROM THE WEB SOIL SURVEY WHICH IS OPERATED BY THE USDA NATIONAL RESOURCES CONSERVATION SERVICE.

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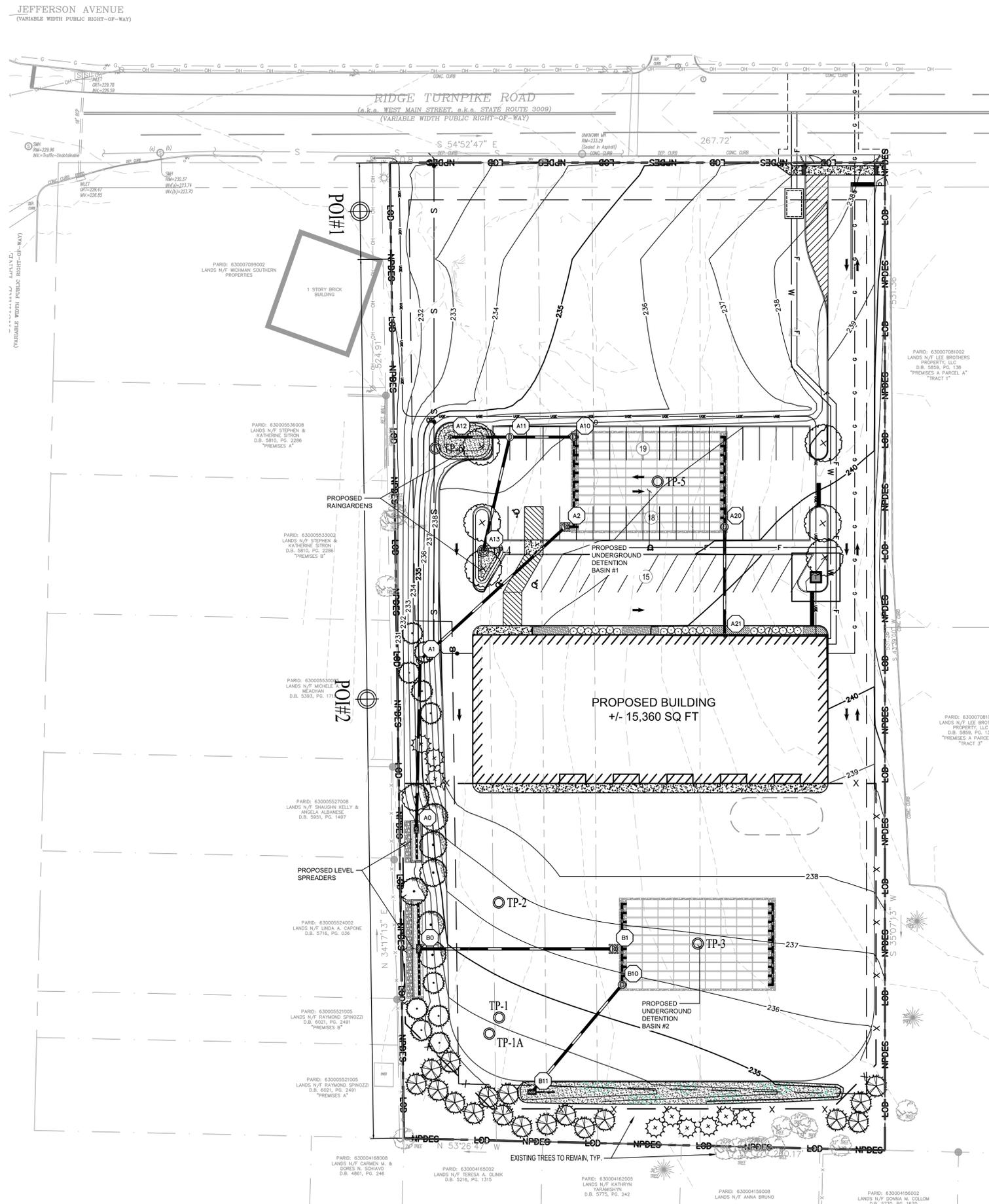
EROSION AND SEDIMENT CONTROL NOTES

TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC
WEST NORRITON TOWNSHIP PENNSYLVANIA

SHEET NUMBER C-450



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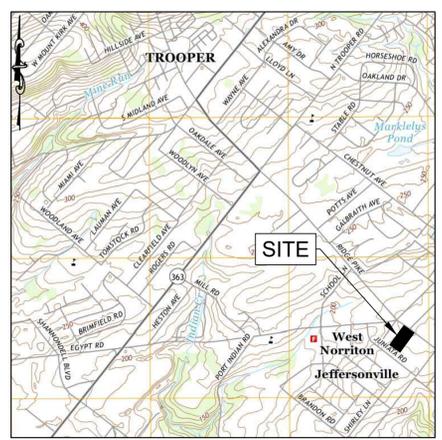
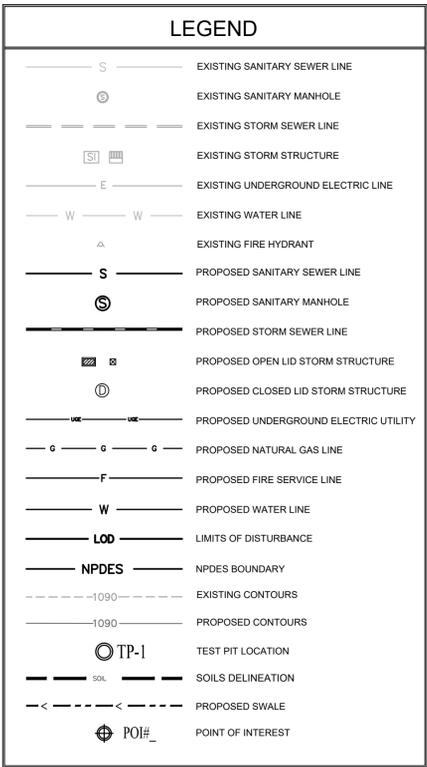


SOIL SUITABILITY AND CHARACTERISTICS

MAP UNIT SYMBOL	SOIL	DEPTH TO SEASONAL HIGH WATER TABLE	DEPTH TO BEDROCK	FOR USE AS ROADFILL	FOR USE AS TOPSOIL	FOR USE AS GRAVEL	FOR USE AS SAND	HYDRIC SOILS	HYDRIC SOIL GROUP
UgB	URBAN LAND	-	-	NOT RATED	NOT RATED	NOT RATED	NOT RATED	-	-
UrxB	URBAN LAND - PENN COMPLEX	MORE THAN 80"	15-100" TO LITHIC BEDROCK	NOT RATED	NOT RATED	NOT RATED	NOT RATED	-	B

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- ### SOIL LIMITATIONS AND RESOLUTIONS
1. BEDROCK LIMITATION
 - a. INFORM CONTRACTOR
 2. SEASONAL HIGH WATER TABLE LIMITATION
 - a. DURING CONSTRUCTION PONDING WATER NEEDS TO BE PUMPED TO A SEDIMENT FILTER BAG OR OTHER SEDIMENT CONTROL BMP.
 3. REUSE OF ON-SITE SOILS FOR ROADFILL, GRAVEL, SAND AND TOPSOIL LIMITATION
 - a. CONTRACTOR TO IMPORT MATERIAL WHERE NECESSARY OR BORROW FROM OTHER AREAS OF ON-SITE CUTS WHERE SOIL CHARACTERISTICS ARE SUITABLE.



INFILTRATION TESTING RESULTS

INFILTRATION TESTING NO.	APPROXIMATE EX. SURFACE ELEV. (FT)	APPROXIMATE TEST DEPTH (IN)	APPROXIMATE INFILTRATION TEST ELEV. (FT)	DEPTH TO LIMITING ZONE (FT)	LIMITING ZONE ELEVATION (FT)	FIELD TESTED INFILTRATION RATE (IN/HR)
TP-1	233.00	54.00	228.50	N/A	N/A	0.00
TP-1A	233.00	93.00	225.25	N/A	N/A	0.00
TP-2	232.50	36.00	229.50	5	227.5	0.00
TP-3	235.80	84.00	228.80	9	226.8	1.00
TP-4	232.00	60.00	227.00	N/A	N/A	0.00
TP-5	236.00	60.00	231.00	N/A	N/A	2.50
TP-6	231.10	61.20	226.00	N/A	N/A	0.00
TP-6	231.10	93.00	223.35	N/A	N/A	1.00

INFILTRATION RESULTS ARE BASED ON A GEOTECHNICAL REPORT PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, INC., DATED SEPTEMBER 05, 2018.
 * INFILTRATION RATES DO NOT HAVE A FACTOR OF SAFETY APPLIED.

TLC DRAIN AND SEWER
 PREPARED FOR
PRESTIGE WORLDWIDE
PROPERTY INVESTMENTS, LLC

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

PENNSYLVANIA
 WEST NORRITON TOWNSHIP

Kimley-Horn
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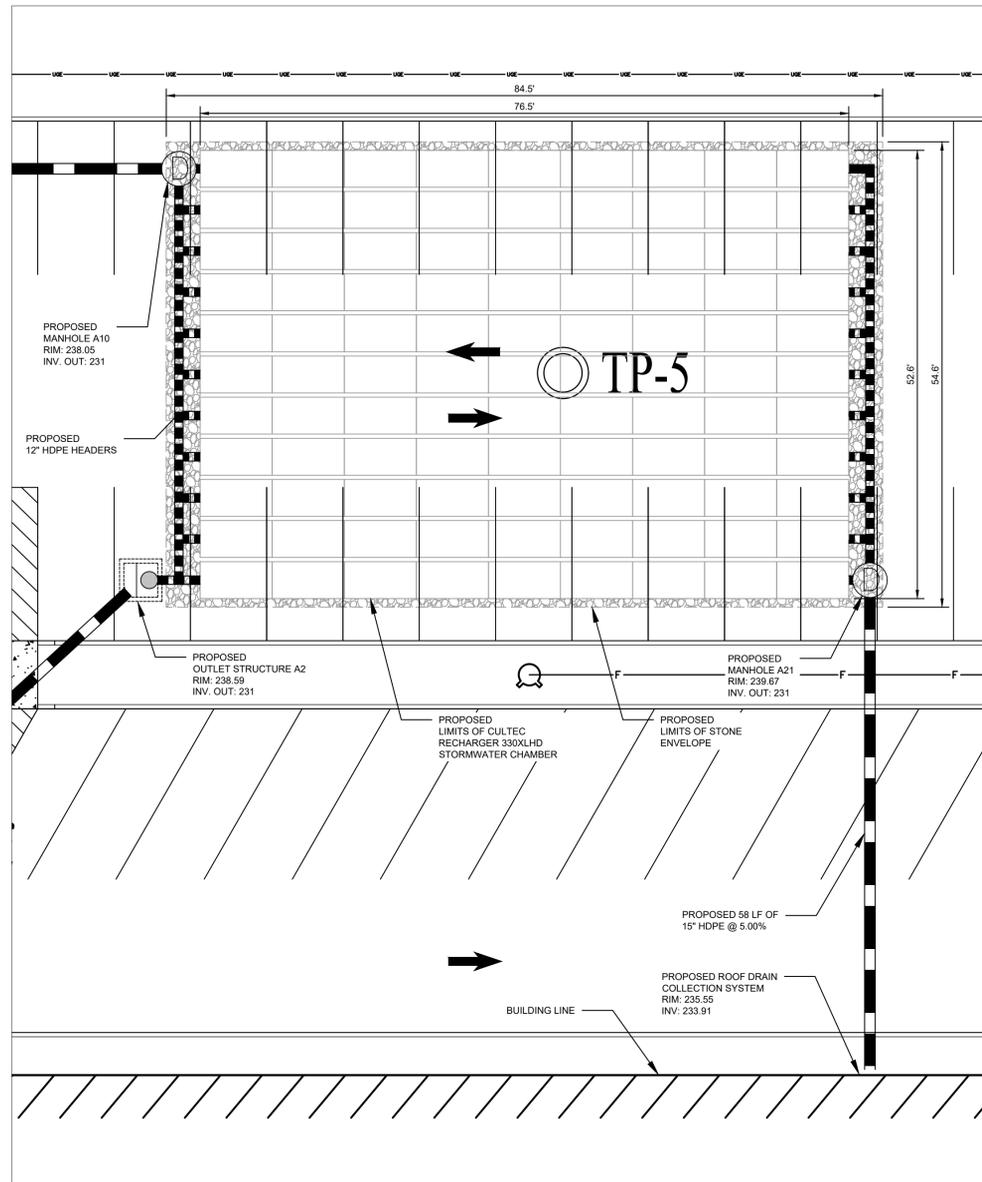
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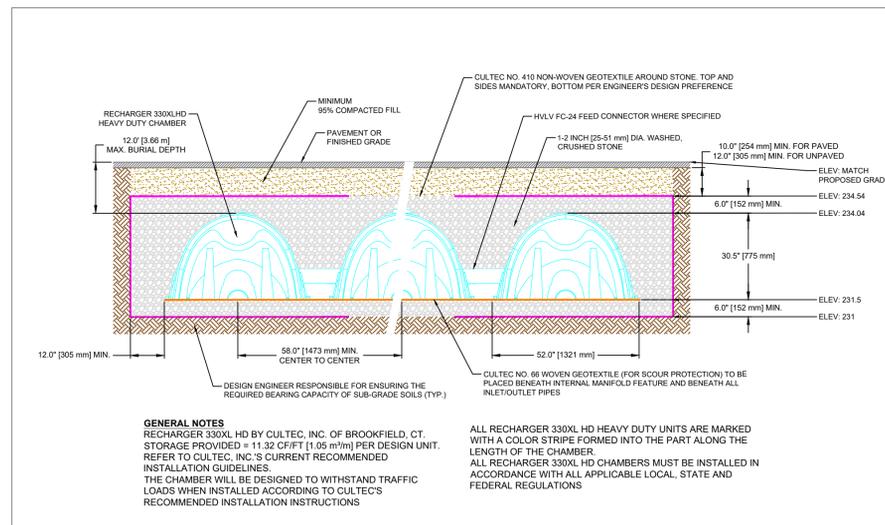
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CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 2 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 15 WORKING
 DAYS IN DESIGN STAGE - STOP CALL

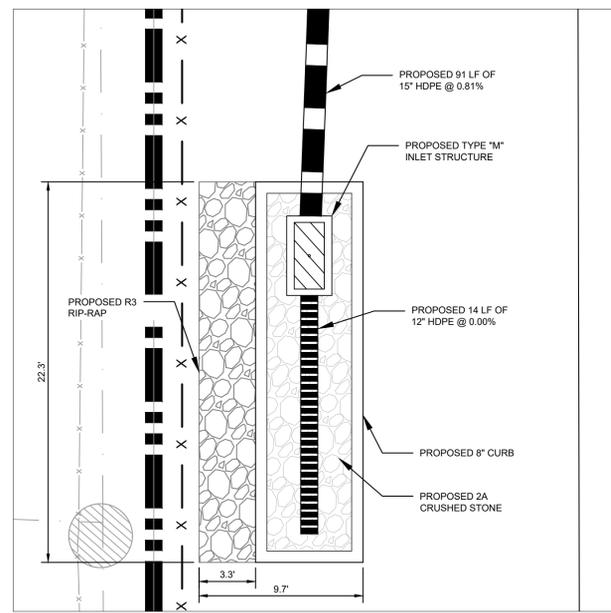
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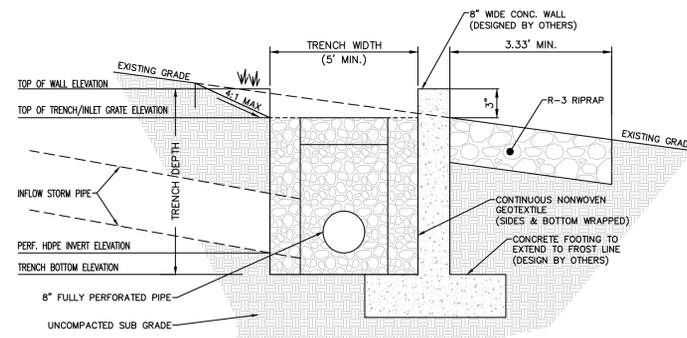
1 UNDERGROUND RETENTION BASIN #1 DETAIL
SCALE: 1" = 10'



2 CULTEC RECHARGER 330XLHD STORMWATER CHAMBER DETAIL
SCALE: N.T.S.



3 LEVEL SPREADER #1 DETAIL
SCALE: 1" = 5'



LEVEL SPREADER R NO.	TRENCH BOTTOM ELEV. (FT.)	PERF. HDPE DIAMETER (IN)	PERF. HDPE ELEVATION (FT.)	TRENCH DEPTH (FT.)	TRENCH TOP ELEV. (FT.)	INLET GRATE ELEV. (FT.)	TOP OF WALL ELEV. (FT.)	TRENCH LENGTH (FT.)
#1	228.50	12	229.00	3.00	231.25	231.25	231.50	22.33

4 CROSS SECTION OF LEVEL SPREADER DETAIL
SCALE: N.T.S.

- LEVEL SPREADER CONSTRUCTION SEQUENCE**
- EXCAVATE TRENCH BOTTOM TO A UNIFORM, UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS AND AT A SLOPE OF 0.0% FROM THE STORM INLET.
 - INSTALL STRUCTURAL CONCRETE CURBS/EDGE TO ACT AS LEVEL SPREADER.
 - PLACE NONWOVEN GEOTEXTILE FABRIC ALONG THE BOTTOM AND SIDES OF THE TRENCH. FOLD BACK GEOTEXTILE FABRIC AND TIE INTO ADJACENT SUBGRADE.
 - INSTALL 8" BED BOTTOM STONE. PLACE PERFORATED HDPE PIPE IN THE CENTER OF THE TRENCH.
 - PLACE REMAINING STONE IN 8 INCH LIFTS, LIGHT COMPACTING BETWEEN LIFTS.
 - INSTALL R-3 RIPRAP FOR A MINIMUM OF 5 FEET DOWNSLOPE FROM THE EDGE OF LEVEL SPREADER.
 - STABILIZE SURROUNDING AREA IMMEDIATELY.

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES A WORKING DATE NOTICE FOR CONSTRUCTION PHASE AND 15 WORKING DAYS IN DESIGN PHASE - STOP CALL
 PA 1
 1-800-221-1176

KHA PROJECT: 112160000
 DATE: 09/28/2018
 SCALE: AS SHOWN
 DESIGNED BY: PH
 DRAWN BY: MP
 CHECKED BY: PH

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 TWO LIBERTY PLACE, 50 SOUTH 16TH STREET, SUITE 1650
 PHILADELPHIA, PA 19102
 PHONE: 215-854-6396
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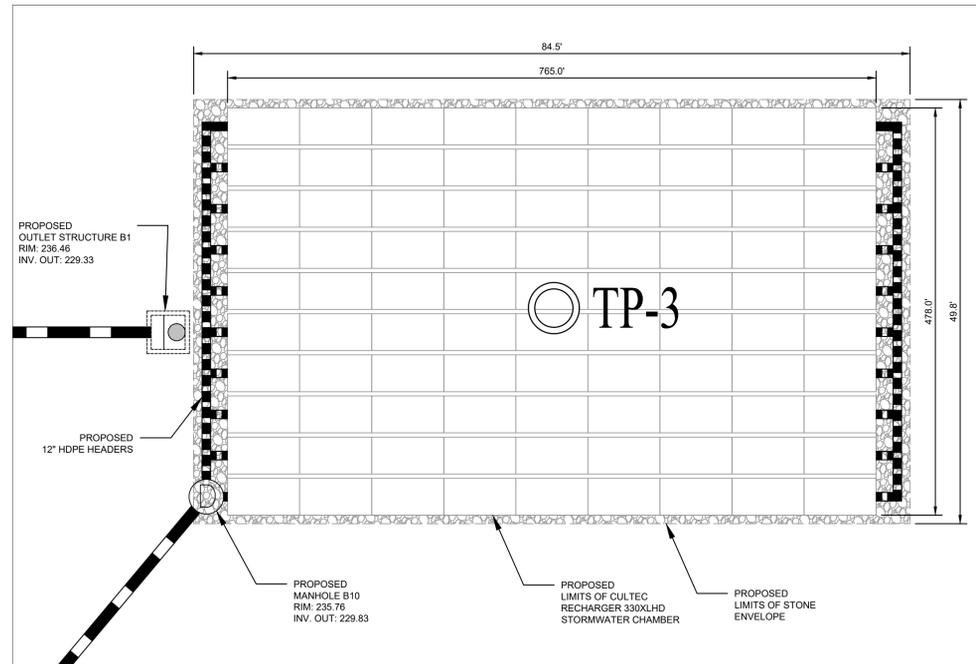
TLC DRAIN AND SEWER
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 PROPERTY INVESTMENTS, LLC
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POST CONSTRUCTION
 STORMWATER
 MANAGEMENT DETAILS

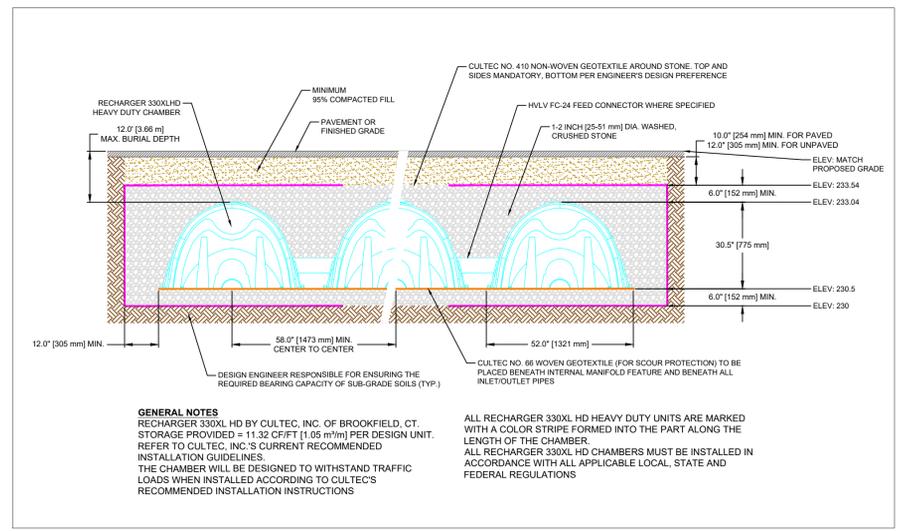
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REVISIONS
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 DATE _____

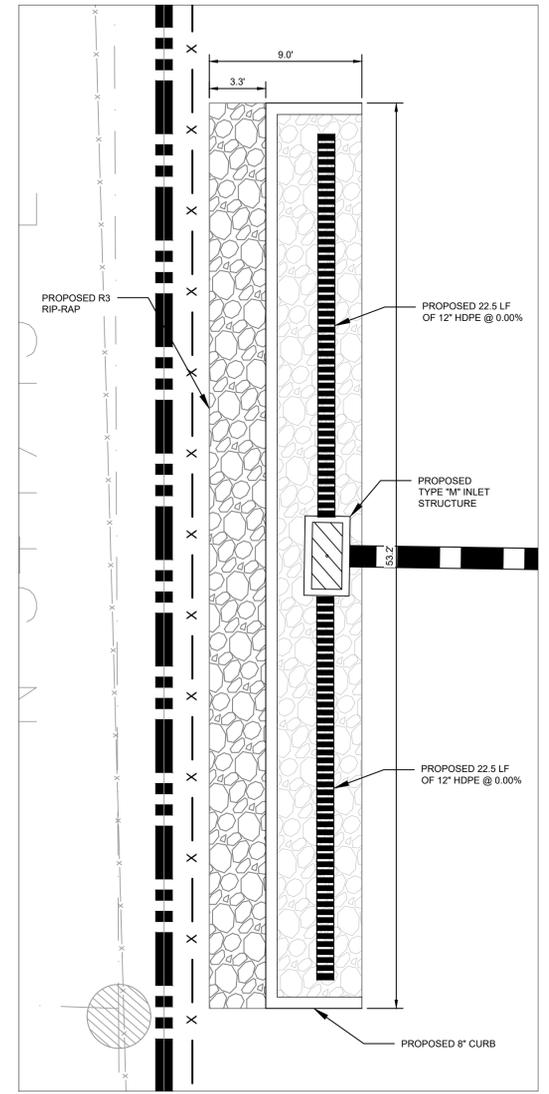
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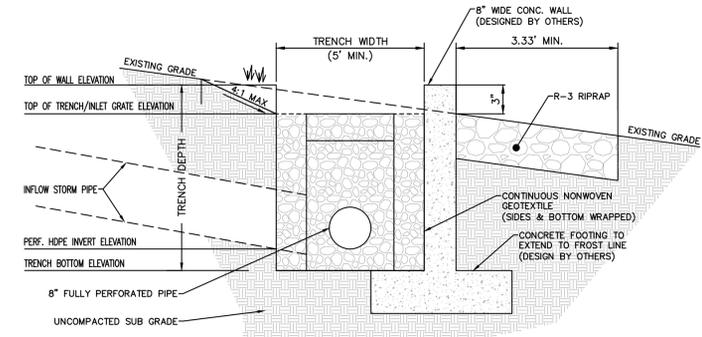
1 UNDERGROUND RETENTION BASIN #2 DETAIL
SCALE: 1" = 10'



2 CULTEC RECHARGER 330XLHD STORMWATER CHAMBER DETAIL
SCALE: N.T.S.



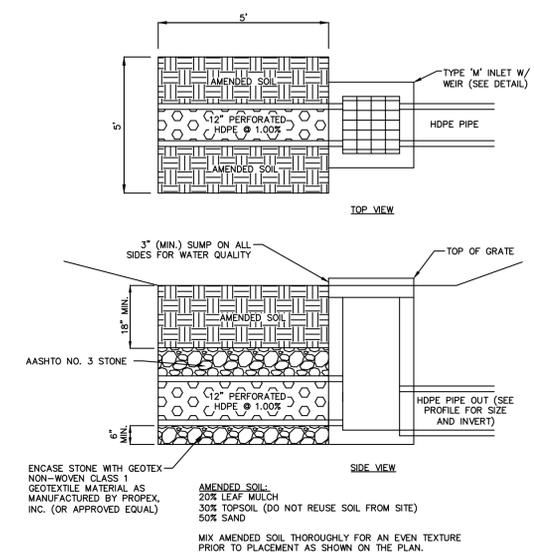
3 LEVEL SPREADER #2 DETAIL
SCALE: 1" = 5'



LEVEL SPREADER R.NO.	TRENCH BOTTOM ELEV. (FT)	PERF. HDPE DIAMETER (IN)	PERF. HDPE ELEVATION (FT)	TRENCH DEPTH (FT)	TRENCH TOP ELEV. (FT.)	INLET GRAVE ELEV. (FT.)	TOP OF WALL ELEV. (FT)	TRENCH LENGTH (FT.)
#2	228.25	12	228.75	3.25	231.25	231.25	231.50	53.20

4 CROSS SECTION OF LEVEL SPREADER DETAIL
SCALE: N.T.S.

- LEVEL SPREADER CONSTRUCTION SEQUENCE**
- EXCAVATE TRENCH BOTTOM TO A UNIFORM, UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS AND AT A SLOPE OF 0.0% FROM THE STORM INLET.
 - INSTALL STRUCTURAL CONCRETE CURBEDGE TO ACT AS LEVEL SPREADER.
 - PLACE NONWOVEN GEOTEXTILE FABRIC ALONG THE BOTTOM AND SIDES OF THE TRENCH. FOLD BACK GEOTEXTILE FABRIC AND TIE INTO ADJACENT SUBGRADE.
 - INSTALL 8\"/>



5 WATER QUALITY INLET COMBINATION STORM SEWER/UNDERDRAIN (BMP)
WQ INLETS ARE TO BE UTILIZED FOR STORM STRUCTURES: B11

TLC DRAIN AND SEWER PREPARED FOR PRESTIGE WORLDWIDE PROPERTY INVESTMENTS, LLC
 WEST NORRITON TOWNSHIP PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS 2

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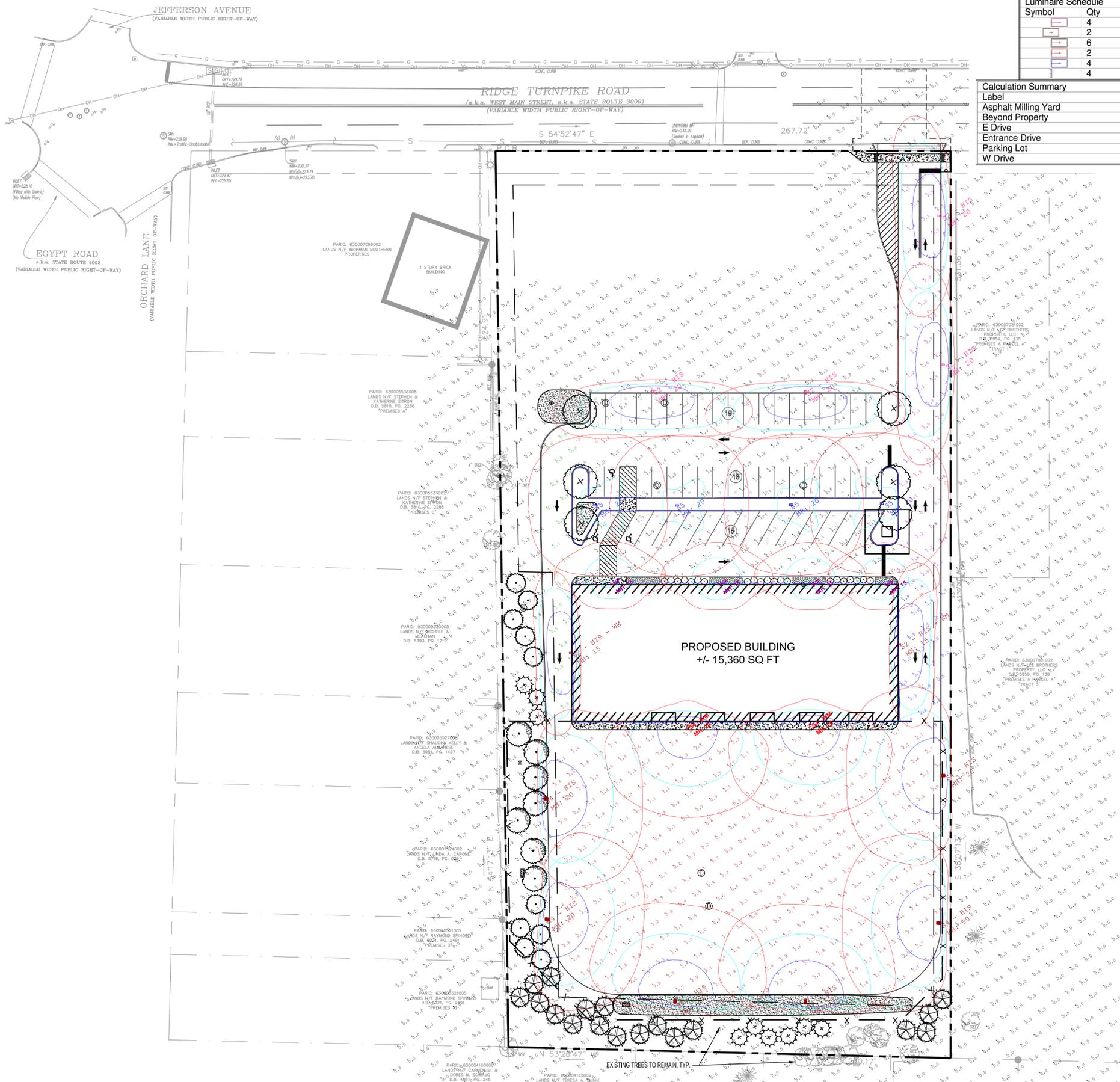
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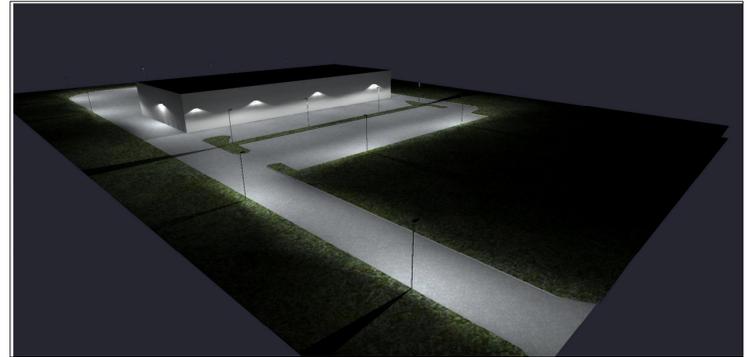
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Plotted By: Patterson, Matt. Sheet Set: TLC Headquarters Layout: LIGHTING PLAN. September 28, 2018. 10:49:30am. K:\PHI_PRA\112160000 - TLC Headquarters\CAD\plan\sheet\112160000 - 200 LIGHTING PLAN.dwg
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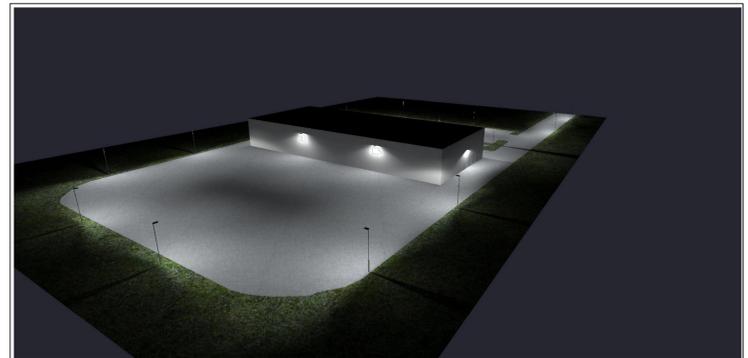


Luminaire Schedule								
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens		
[Symbol]	4	S2 - HIS	0.900	Gardco ECF-S-32L-700-NW-G2-2-HIS	72.9	6779		
[Symbol]	2	S2 - HIS -	0.900	Gardco ECF-S-32L-530-NW-G2-2-HIS	55.7	5256		
[Symbol]	6	S4 - HIS	0.900	Gardco ECF-S-32L-1A-NW-G2-4-HIS	105.6	10003		
[Symbol]	2	S4 - WM	0.900	Gardco ECF-S-32L-700-NW-G2-4	72.9	9062		
[Symbol]	4	S5	0.900	Gardco ECF-S-32L-700-NW-G2-5W	72.9	9255		
[Symbol]	4	WP	0.900	Stonco LPW16-5	28.1	2696		

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Grid Z
Asphalt Milling Yard	Illuminance	Fc	1.57	3.8	0.2	19.00	7.85	0
Beyond Property	Illuminance	Fc	0.11	4.5	0.0	N.A.	N.A.	0.25
E Drive	Illuminance	Fc	2.10	5.5	0.2	27.50	10.50	0
Entrance Drive	Illuminance	Fc	1.83	4.3	0.1	43.00	18.30	0
Parking Lot	Illuminance	Fc	1.89	4.6	1.1	4.18	1.72	0
W Drive	Illuminance	Fc	1.75	6.5	0.1	65.00	17.50	0



SITE LIGHTING PHOTOMETRIC RENDERING - FRONT VIEW



SITE LIGHTING PHOTOMETRIC RENDERING - REAR VIEW

No.	REVISIONS	DATE	BY

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LIGHTING PLAN

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